



City of Sebastopol Design Review Board/Tree Board Staff Report

Meeting Date: November 26, 2024
Agenda Item: 6A
To: Design Review and Tree Board
From: John Jay, Associate Planner

Applicant/Owner: Kathy Austin/Pacific Realty Development
File Number: 2023-078
Address: 7621 Healdsburg Ave
CEQA Status: Exempt
General Plan: High Density Residential/Commercial Office
Zoning: Multi-Family Residential (R7)/Office Commercial (CO)

Introduction:

The applicant, Kathy Austin, has submitted a Tentative Map and Conditional Use Permit for 100% residential within a Commercial Zone project at 7621 Healdsburg Avenue. The project is a 12 unit apartment building on the frontage of Healdsburg Avenue and attached Townhomes on the southern end of the property that faces Murphy Avenue. The project also includes the review and approval of the Design Review Board for the buildings on site along with the removal of onsite trees.

Project Description:

The project proposes to construct seven 1120 and five 1148 square foot townhomes with 1 car garage and 1 car parking space on site along the rear of the site with entrance from Murphy Avenue. The project also includes one apartment building with six 760 square foot and six 590 square foot one bedroom apartment units. The apartment units would be accessible from Healdsburg Avenue with parking in the rear of the building along with an ADA elevator access on the western side of the building.

The project also includes the removal of onsite trees. As part of the applicant's documents, there is an Arborist report noting there are 59 trees of which 29 are proposed to be removed, 18 can be retained with moderate or less impact, 7 trees can be retained with a significant impact, and 5 fruit trees to be removed without requiring mitigation. Considering the proximity of construction activities, type of activities, tree species, and tree condition - the following ratings are used to estimate the amount of impact on tree health and stability. Most trees will tolerate a (1) rating, many trees could tolerate a (2) rating with careful consideration and mitigation, but trees with a (3) rating are poor candidates for preservation due to their very close proximity to construction or because they are located within the footprint of construction and cannot be preserved.

- (3) A significant impact on long term tree integrity can be expected as a result of proposed development.
- (2) A moderate impact on long term tree integrity can be expected as a result of proposed development.
- (1) A minor impact on long term tree integrity can be expected as a result of proposed development.
- (0) No impact expected if protected per recommendations.

Environmental Review:

The project is categorically exempt from further environmental review pursuant to CEQA Guidelines Section 15332 as an infill project. The project is on site that is 1.26 acres in size, surrounded by urban uses. In order to qualify for the infill exemption, the project must also meet each of the following criteria:

1. Be consistent with the applicable general plan and zoning designation, as well as all applicable general plan policies and zoning regulations.
2. The project site must not have value as habitat for endangered, rare or threatened species.
3. The project must not result in any significant effects relating to traffic, noise, air quality, or water quality.
4. The site must be able to be adequately served by all required utilities and public services.

The project satisfies all of these criteria. As described above, a traffic study was completed showing that the project would not have a significant effect on traffic.

General Plan Consistency:

This project is consistent with the following General Plan policies as shown below.

- *Goal LU1 - Maintain Sebastopol as a unique, charming, and environmentally sensitive small town that provides residents, businesses, and visitors with opportunities to enjoy a high quality of life.*
- *Policy LU 1-2: Avoid urban sprawl by concentrating development within the City limits; favor infill development over annexation.*
- *Policy LU 5-5: Strongly encourage residential development in a balanced and efficient pattern that reduces sprawl, preserves open space, and creates convenient connections to other land uses.*
- *Policy LU 6-1: Promote increased residential densities.*
- *Policy LU 6-2: Promote compact urban form that provides residential opportunities in close proximity to jobs, services, and transit.*
- *Policy LU 7-1: Maintain an inventory of developable and appropriately zoned office, commercial, industrial, and mixed-use land sufficient to attract and provide regional services.*
- *Policy LU 7-6: Encourage mixed-use developments throughout the city.*
- *Policy LU 7-7: In mixed use, commercial, office, and other non-residential developments, encourage non-residential uses on the ground floor while allowing residential uses on the ground floor where appropriate.*
- *Housing Element Policy C-4: The City will encourage development of new housing to meet a range of income levels, including market-rate housing, and a variety of housing sizes and types.*

- *Housing Element Goal D-1: Promote Housing Affordability for both Renters and Homeowners*

Zoning Ordinance Consistency:

The project site has two zoning districts located within the property. The Office Commercial (CO) district fronts Healdsburg Avenue and the rear, southern part of the parcel with access to Murphy Avenue is zoned Multi-family Residential (R7). The project intends to develop the Commercially zoned part of the project with twelve one bedroom apartment units. However, 100% residential projects within a Commercial Zoning district that are not 100% affordable require a conditional use permit to be approved by the Planning Commission. The second/southern half of the parcel that is zoned Multi-Family Residential (R7) and is subject to the R7 development standards as well as the small lot subdivisions standards set forth in Chapter 17.230 of the Sebastopol Municipal Code.

Public Comment:

As prescribed by Section 17.460 of the Zoning Ordinance, the Planning Department completed the following: (1) Provided written notice to all property owners within 600 feet of the external boundaries of the subject property; (2) provided a written notice that was published in the Press Democrat; and (3) posted three written notices publicly on and within vicinity of the subject property including a large billboard posting on Healdsburg Avenue.

City Departmental Comment:

The Planning Department distributed this project to the various City departments and their conditions of approval have been included in Exhibit B.

Required Findings:

Chapter 17.450.030(b) sets forth the required findings of Design Review permits.

In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol in that the project breaks down the massing by proposing twenty separate structures, retains the majority of trees between the site and adjoining residential uses, and maintains two-thirds of the site as open space;
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way in that the project provides additional tree screening to the adjoining property owners, increased setbacks from what is required by the Zoning Code, and provides two-thirds of the site as open space;
3. It would not impair the desirability of investment or occupation in the neighborhood in that the project will provide new development on a vacant parcel and increased vibrance on the north gateway into Sebastopol;
4. The design is internally consistent and harmonious as conditioned will be met;
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter as conditioned will be met along with the analysis in the report.

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

Tree Removal Criteria. An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

Analysis:

Design Review

All Design Review projects are subject to the Design Review Guidelines and staff feels that this project meets those guidelines as described in the analysis below:

SITE PLANNING:

As the project is an infill development the neighborhood context of this should be sensitive to the existing patterns of the surrounding uses. This project incorporates elements from the neighborhood as the density is appropriate for this site and is within the allowed maximum allowed units for the parcel size. The change in orientation of the driveway has allowed for saving additional onsite trees that would not have been possible if there was a through connection on the site as was previously proposed. The project also provides the appropriate setback buffers from neighboring residential and commercial uses. The building along Healdsburg Ave is oriented parallel to the street and is facing the roadway with parking in the rear. This building also relates to the street as it provides a front deck on the first floor that steps down onto the public right of way. As mentioned earlier the vehicle park is oriented towards the rear of this building along with providing some shade for the parking spots close to the building with the second floor overhang. There are bicycle parking spots provided behind the apartment units near the parking lot and the residential units along Murphy will include a bike rack device in the garage. Both of these spaces include private outdoor space in the means of private balcony and deck space. The townhome units include a small backyard with no fence material

and are meant to be open to the nature around them. While the site is very sloped the grading work that is proposed is done in a way that was one of the better options to keep as many onsite trees as possible this option was also the best regarding off haul and cut/fill. The project also includes bioretention areas to deal with stormwater management on site along with the landscaping included. As shown in the landscape plan, the bioretention areas are near the parking space areas and sloped to catch the water run off from the impervious surface. The trash enclosures are located in a way that is screened from the public right of way along with being screened with plant material.

ARCHITECTURE:

The project has architectural similarities in the surrounding area as the buildings next door were developed by the same applicant. While the colors are not the same as the building to the west the overall color pallet of the project incorporates more of the urban forestry of the browns and grays into the final façade of the buildings. The building height of both of these buildings matches the corner building in that they are both two stories and less than 30' in overall height. The massing on the project is broken up along the upper and lower levels of the site along with the color changes to move away from the overall large box building. The lower units along Healdsburg Ave engage the street with their front patio/porch area. The use of the vertical and horizontal siding allows for the facades of the building to be broken up into smaller components. The buildings also provide architectural protrusions to help break up the building facades. The materials proposed as part of the color board are made of extremely high durable materials, are non-reflective, and are complimentary to the neighboring design.

LANDSCAPING:

General:

The proposed landscaping adds elements of public and private space by incorporating the natural site environment to the upper townhome units. The lower units include some relief along the rear of the units as well as material along the street. The landscaping proposed also includes a screening feature of the trash enclosure locations on site. The project also includes a pedestrian pathway that connects the upper and lower sections of the site which meanders through the onsite trees. Finally, the plant material selected is mostly consistent of native plants to the area.

Trees:

Ben Anderson, a certified Arborist serving as the City Arborist visited the site and reviewed the documentation provided as part of the project submission and provided a full report which is attached to this staff report. Below is synopsis of his report

- The arborist report included all relevant trees on the subject and adjacent properties, and they were accurately mapped.
- The arborist report appears to have reviewed an outdated version of the plans.
- Tree 239 is dead. The arborist report recommends removal but it is not shown as such on the map.
- Tree 245 looks as though it will require extensive pruning to accommodate the new building (to be confirmed with story poles). This is either co-owned or owned by the neighbor.
- Tree 246 will require very large cuts outside industry standards to accommodate the new building (Figure 1). This will leave very large wounds on the trunk that will introduce decay and could significantly shorten the tree's life. This is a co-owned tree.

- Trees 253, 254, 256, 257, & 258 lean towards the proposed buildings and will require extensive pruning to accommodate the new buildings, potentially removing all the living canopy from some of the trees.
- Tree 265 is identified as to be preserved in the arborist report but marked as a removal on several plan sheets.
- Tree 276 is gone (reportedly from a failure and the removal was granted an emergency permit).
- Multiple trees will have canopies that extend over the roofs of the proposed homes.

The report also includes a conclusion that of the 31 trees to be removed, 20 of them require a permit. However, as the tree report is dated a revised report should be done before building permit issuance to ensure that there are no new trees needed to be added to this 20 as a result of pruning for building clearance or fire department clearance. The report also includes additional conditions which have been included in Exhibit B Conditions of Approval.

Recommendation:

If it is the consensus of the Board that the proposed 12 apartments and 12 townhome residences are compatible with the site, staff recommends that the application be approved based on the facts, findings, and analysis set forth in this staff report, and subject to the conditions of approval outlined.

Alternatively, the Board may find that revisions are necessary, and a continuance is appropriate. Staff recommends that the Board provide direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

Attachments:

Application Materials
Arborist report
Exhibit A – Findings of Approval
Exhibit B - Conditions of Approval



City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167

**MASTER PLANNING
APPLICATION FORM**

APPLICATION TYPE

- | | | |
|----------------------------------------------------------|-----------------------------------------------------|-----------------------------------------------|
| <input type="checkbox"/> Administrative Permit Review | <input type="checkbox"/> Lot Line Adjustment/Merger | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Alcohol Use Permit/ABC Transfer | <input type="checkbox"/> Preapplication Conference | <input type="checkbox"/> Tree Removal Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Preliminary Review | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Design Review | <input type="checkbox"/> Sign Permit | <input type="checkbox"/> Other _____ |

This application includes the checklist(s) or supplement form(s) for the type of permit requested: Yes No

REVIEW/HEARING BODIES

- Staff/Admin Design Review/Tree Board Planning Commission City Council Other _____

APPLICATION FOR

Street Address: _____ Assessor's Parcel No(s): _____

Present Use of Property: _____ Zoning/General Plan Designation: _____

APPLICANT INFORMATION

Property Owner Name: _____

Mailing Address: _____ Phone: _____

City/State/ZIP: _____ Email: _____

Signature: _____ Date: _____

Authorized Agent/Applicant Name: _____

Mailing Address: _____ Phone: _____

City/State/ZIP: _____ Email: _____

Signature: _____ Date: _____

Contact Name (If different from above): _____ Phone/Email: _____

PROJECT DESCRIPTION AND PERMITS REQUESTED (ATTACH ADDITIONAL PAGES IF NECESSARY)

CITY USE ONLY

| Fill out upon receipt: | Action: | Action Date: |
|-------------------------------|---------------------------------|---------------------|
| Application Date: _____ | Staff/Admin: _____ | Date: _____ |
| Planning File #: _____ | Planning Director: _____ | Date: _____ |
| Received By: _____ | Design Review/Tree Board: _____ | Date: _____ |
| Fee(s): \$ _____ | Planning Commission: _____ | Date: _____ |
| Completeness Date: _____ | City Council: _____ | Date: _____ |

SITE DATA TABLE

If an item is not applicable to your project, please indicate "Not Applicable" or "N/A" in the appropriate box; do not leave cells blank.

| SITE DATA TABLE | REQUIRED / ZONING STANDARD | EXISTING | PROPOSED |
|-----------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------------------------------------------------------------------|
| Zoning | N/A | | |
| Use | N/A | | |
| Lot Size | | | |
| Square Feet of Building/Structures <i>(if multiple structures include all separately)</i> | | | |
| Floor Area Ratio (F.A.R) | _____ FAR | _____ FAR | _____ FAR |
| Lot Coverage | _____ % of lot | _____ % of lot | _____ % of lot |
| | _____ sq. ft. | _____ sq. ft. | _____ sq. ft. |
| Parking | | | |
| Building Height | | | |
| Number of Stories | | | |
| Building Setbacks – Primary | | | |
| <i>Front</i> | | | |
| <i>Secondary Front Yard (corner lots)</i> | | | |
| <i>Side – Interior</i> | | | |
| <i>Rear</i> | | | |
| Building Setbacks – Accessory | | | |
| <i>Front</i> | | | |
| <i>Secondary Front Yard (corner lots)</i> | | | |
| <i>Side – Interior</i> | | | |
| <i>Rear</i> | | | |
| Special Setbacks (if applicable) | | | |
| <i>Other (_____)</i> | | | |
| Number of Residential Units | _____ Dwelling Unit(s) | _____ Dwelling Unit(s) | _____ Dwelling Unit(s) |
| Residential Density | 1 unit per _____ sq. ft. | 1 unit per _____ sq. ft. | 1 unit per _____ sq. ft. |
| Useable Open Space | _____ sq. ft. | _____ sq. ft. | _____ sq. ft. |
| Grading | Grading should be minimized to the extent feasible to reflect existing topography and protect significant site features, including trees. | N/A | Total: _____ cu. yds. Cut: _____ cu. yds. Fill: _____ cu. yds. Off-Haul: _____ cu. yds |
| Impervious Surface Area | N/A | _____ % of lot | _____ % of lot |
| | | _____ sq. ft. | _____ sq. ft. |
| Pervious Surface Area | N/A | _____ % of lot | _____ % of lot |
| | | _____ sq. ft. | _____ sq. ft. |

CONDITIONS OF APPLICATION

1. All Materials submitted in conjunction with this form shall be considered a part of this application.
2. This application will not be considered filed and processing may not be initiated until the Planning Department determines that the submittal is complete with all necessary information and is "accepted as complete." The City will notify the applicant of all application deficiencies no later than 30 days following application submittal.
3. The property owner authorizes the listed authorized agent(s)/contact(s) to appear before the City Council, Planning Commission, Design Review/Tree Board and Planning Director and to file applications, plans, and other information on the owner's behalf.
4. The Owner shall inform the Planning Department in writing of any changes.
5. **INDEMNIFICATION AGREEMENT:** As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards, committees and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

6. **REPRODUCTION AND CIRCULATION OF PLANS:** I hereby authorize the Planning Department to reproduce plans and exhibits as necessary for the processing of this application. I understand that this may include circulating copies of the reduced plans for public inspection. Multiple signatures are required when plans are prepared by multiple professionals.
7. **NOTICE OF MAILING:** Email addresses will be used for sending out staff reports and agendas to applicants, their representatives, property owners, and others to be notified.
8. **DEPOSIT ACCOUNT INFORMATION:** Rather than flat fees, some applications require a 'Deposit'. The initial deposit amount is based on typical processing costs. However, each application is different and will experience different costs. The City staff and City consultant time, in addition to other permit processing costs, (i.e., legal advertisements and copying costs are charged against the application deposit). If charges exceed the initial deposit, the applicant will receive billing from the City's Finance department. If at the end of the application process, charges are less than the deposit, the City Finance department will refund the remaining monies. Deposit accounts will be held open for up to 90 days after action or withdrawal for the City to complete any miscellaneous clean up items and to account for all project related costs.
9. **NOTICE OF ORDINANCE/PLAN MODIFICATIONS:** Pursuant to Government Code Section 65945(a), please indicate, by checking the boxes below, if you would like to receive a notice from the City of any proposal to adopt or amend any of the following plans or ordinances if the City determines that the proposal is reasonably related to your request for a development permit:

- | | |
|------------------------------------------------------------------------------------------------|--------------------------------------------------------|
| <input checked="" type="checkbox"/> A general plan | <input checked="" type="checkbox"/> A specific plan |
| <input checked="" type="checkbox"/> An ordinance affecting building permits or grading permits | <input checked="" type="checkbox"/> A zoning ordinance |

Certification

I, the undersigned owner of the subject property, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury. I hereby grant members of the Planning Commission, Design Review Board and City Staff admittance to the subject property as necessary for processing of the project application.

Property Owner's Signature: [Signature] Date: 4/18/22 [Signature] 12/14/23

I, the undersigned applicant, have read this application for a development permit and agree with all of the above and certify that the information, drawings and specifications herewith submitted are true and correct to the best of my knowledge and belief and are submitted under penalty of perjury.

Applicant's Signature: [Signature] Date: 4.19.2022 [Signature] 12.14.2023

NOTE: It is the responsibility of the applicant and their representatives to be aware of and abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however, the applicant has responsibility for determining and following applicable regulations.

Neighbor Notification

In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, residents, and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight, or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times, development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project: Yes No

If yes, or if you will inform neighbors in the future, please describe outreach efforts:

The neighbors were notified previously for our preliminary review. Once we know a date for our hearings we can notify again or we ask that you do the notification. Please provide verbiage for the sign/s on the property so that we may place in time for the hearings.


Website Required for Major Projects

Applicants for major development projects (which involves proposed development of **10,000 square feet of new floor area or greater, or 15 or more dwelling units/lots**), are required to create a project website in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezoning, and Design Review). Required information may be provided on an existing applicant web site.

The website address shall be provided as part of the application. The website shall be maintained and updated, as needed until final discretionary approvals are obtained for the project.

Such website shall include, at a minimum, the following information:

- ✓ Project description
- ✓ Contact information for the applicant, including address, phone number, and email address
- ✓ Map showing project location
- ✓ Photographs of project site
- ✓ Project plans and drawings


12/14/23

December 14, 2023

**Pacific Knolls, 7621 Healdsburg Ave.
Proposed Development of 12 Apartments + 12 Town Homes
From: Katherine Austin, AIA Project Architect**

Project Description:

Zoning:

The parcel has split zoning. The north portion of the site is Zoned CO Commercial Office, and the southerly portion of the site is zoned R7 High Density Residential. We received preliminary support from the Planning Commission to propose 100% Residential in the CO zone as housing is a much greater need than more commercial space. Our proposal is to provide much needed housing for Sebastopol by providing 12 town homes accessed off Murphy Ave. and 12 apartments accessed off Healdsburg Avenue through a Use Permit.

Tree Preservation:

We propose to save as many mature oak trees on the site as possible while still providing the needed circulation and parking required per city standards. Grading was carefully considered to save many trees in the south and east behind the town homes and between the parking lot and east property line. We have changed the location of the access drive of the parking lot to the west side of the proposed apartment building which provides greater retention of oaks on the east and minimizes grading.

Landscaping: large, boxed specimen native oak trees are being proposed for an immediate effect, to mitigate the removal of trees. Six street trees are proposed.

Town Homes:

The town homes are designed with a pier and grade beam foundation around root zones and are internally stepped down where needed for driveway access to minimize grading where possible. We are providing universal design access where grading permits. Full baths are on the first floor of 5 of the 12 town homes for universal design. EV charging will be provided in garages of each unit and PVs on each roof. Heat Pump mini-splits and WH will be used, and bike storage is provided in a rear exterior closet. Private rear patios and yards are provided for each town home. Town Homes are as follows: (7) 1120SF - 2 BR 2 1/2 Baths and (5) 1148 SF - 2 BR 3 Baths. The town homes have (2) BR suites to allow for flexible living. A multi-unit mailbox will be sited in coordination with the post office. 1st Fl plate is 9', 2nd floor plate 8'. No roof ridge exceeds 30 from average grade.

Apartments:

The apartment building is located on a gently sloped area behind the sidewalk along Healdsburg Ave and parking is in the rear, accessed off Healdsburg Ave on the westerly side of the new building. An elevator is proposed to provide an accessible route of travel to both floors so that all units can be adaptable for ADA. PVs and mini split units as well as heat pump WH will be provided on the roof concealed by parapets. Each upper unit has their own laundry and there is a skylight letting light into the center of the units. The lower units may have stacked w/d units provided. A California Access Specialist will review all plans for compliance with ADA including all path of travel signage. Private outdoor

spaces are provided for each apartment: 104+/- SF 2nd Fl & 143 +/- 1st fl. Apartments are as follows: (6) 590 SF 1-BD, 1-BA (6) 760 SF 1-BD, 1BA. The smaller apartments are necessary to provide for the depth of the required rear parking lot and retaining wall between the lower north side and higher south side of the site. Additional outdoor space is provided in the garden seating area on the west side. A multi-unit mailbox will be sited in coordination with the post office. Parapets do not exceed 30' from average grade.

Town Home Site & Access:

To access the town homes, we propose a 20' private drive plus 4' sidewalk off Murphy Ave with a "T" turn around and a 20' wide private drive plus 4' sidewalk for 4 of the town homes. The roadway is wider than 26' next to the fire hydrant per the Fire Dept. The trash and recycle center are located near the center of the access road and will be landscaped. The turnaround is sufficient for the trash hauler. Each town home has a 1 car garage and 1 tandem space in the driveway. We propose to make those driveways of permeable concrete. Between driveways we propose planting trees per the landscape plan to help with the storm water mitigation which is provided around the site in many retention areas as indicated in the Civil Engineering plans. Note there is a retention basin in the rear of each town home to retain the existing drainage pattern on site. A pathway from the town homes leads down the east side of the site. It steps down the hill to avoid grading under the trees proposed to be retained. The accessible route of travel is by private sidewalk to public sidewalk along Murphy Ave to Healdsburg Ave.

Apartment Site & Access:

A 20' driveway off Healdsburg Ave. on the west side of the new building is proposed, providing access to the rear 18 space parking lot for the 12 1-BR apartments. Half of the parking spaces are "tuck-under" the walkway above. On the south side of the parking lot is a planting area that will contain storm water filtration and include plantings. A retaining wall between the lower and upper area is provided with a guardrail placed at the top of the wall. Dark sky compliant lighting is indicated in the landscape plans as is 40% (7) EV charging spaces in the parking lot.

A handicap parking space is provided next to the elevator that serves the upper apartments which each have a semiprivate outdoor area on the south side. One unit, to be determined, will be built out for accessibility and the remainder will be adaptable. Bike parking is provided next to the garden seating area on the west side of the parking lot.

There is a walled multi-unit trash/recycle enclosure under the walkway and beside the stairs for the apartments that will be managed by the owner transporting the bins to the streetside and back. The sidewalk along Healdsburg Ave is proposed to be widened so that the cans can be placed on trash day without blocking the path of travel. This is after discussion with the trash hauler, Recology, who will not pull into or back out of the driveway onto Healdsburg Ave.

Possible Easement on South Property Line

There is a small triangular area at the rear of lots 2-5 of the town homes that is above the slope and on our side of the existing fence that belongs to the adjacent property. Should our project be approved, we would like to work with the neighboring property to obtain an easement to use that as yard area and replace the fence with a new one.



Street View of Healdsburg Avenue



Street View of Murphy Avenue with proposed new private street entrance to Town Homes

| REVISIONS | BY |
|-----------|----|
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7621 Healdsburg Ave. Sebastopol CA
 Pacific Realty Development LLC
 1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
 Street Views of Both
 Healdsburg & Murphy Aves.

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

| | |
|-------|-----------|
| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
| Sheet | 1 |
| of | 10 Sheets |



Perspective of Apartments looking from North East Corner along Healdsburg Avenue



Perspective of the Apartments from the rear Parking Lot

| REVISIONS | BY |
|-----------|----|
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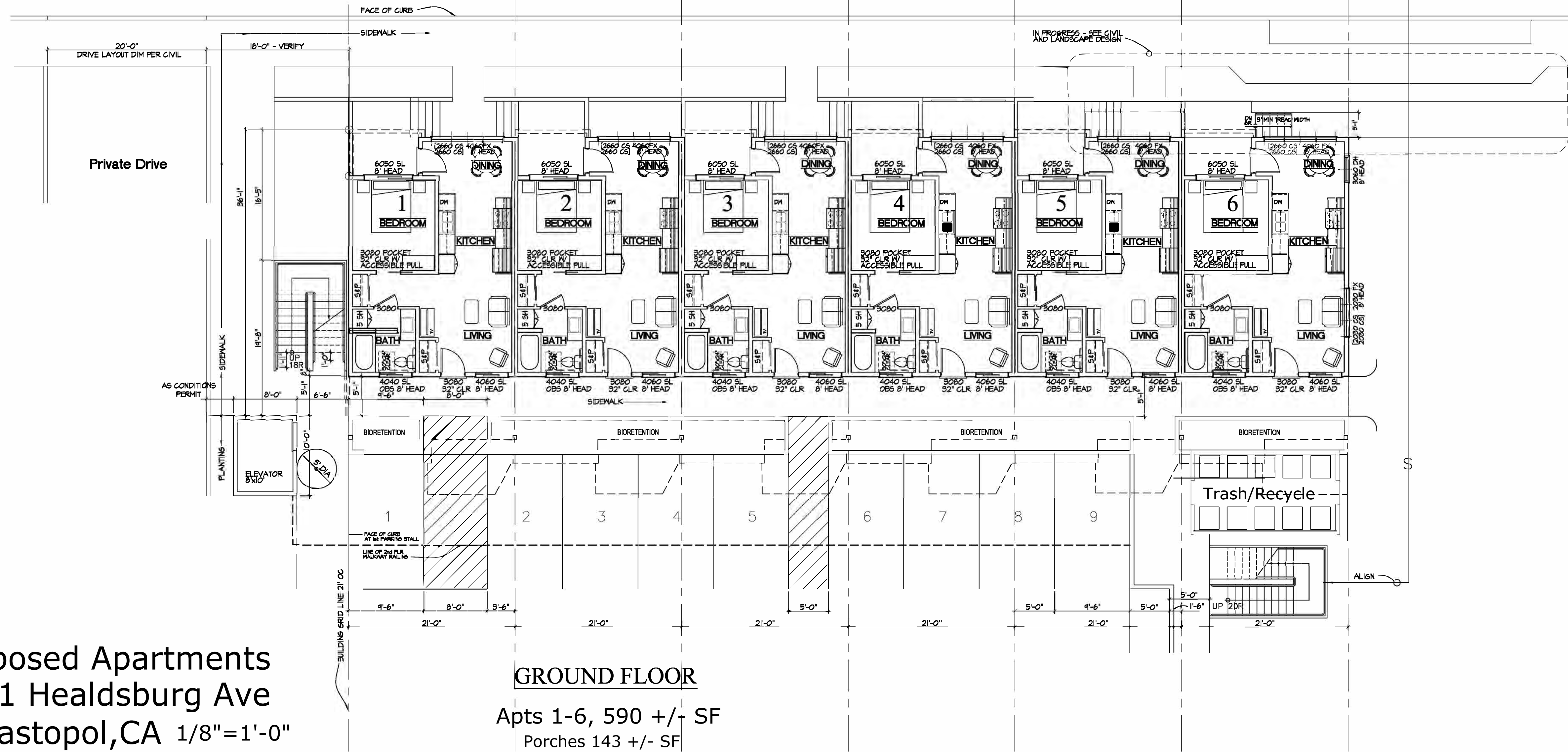
7621 Healdsburg Ave. Sebastopol CA
 Pacific Realty Development LLC
 1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
 Apartments Perspectives

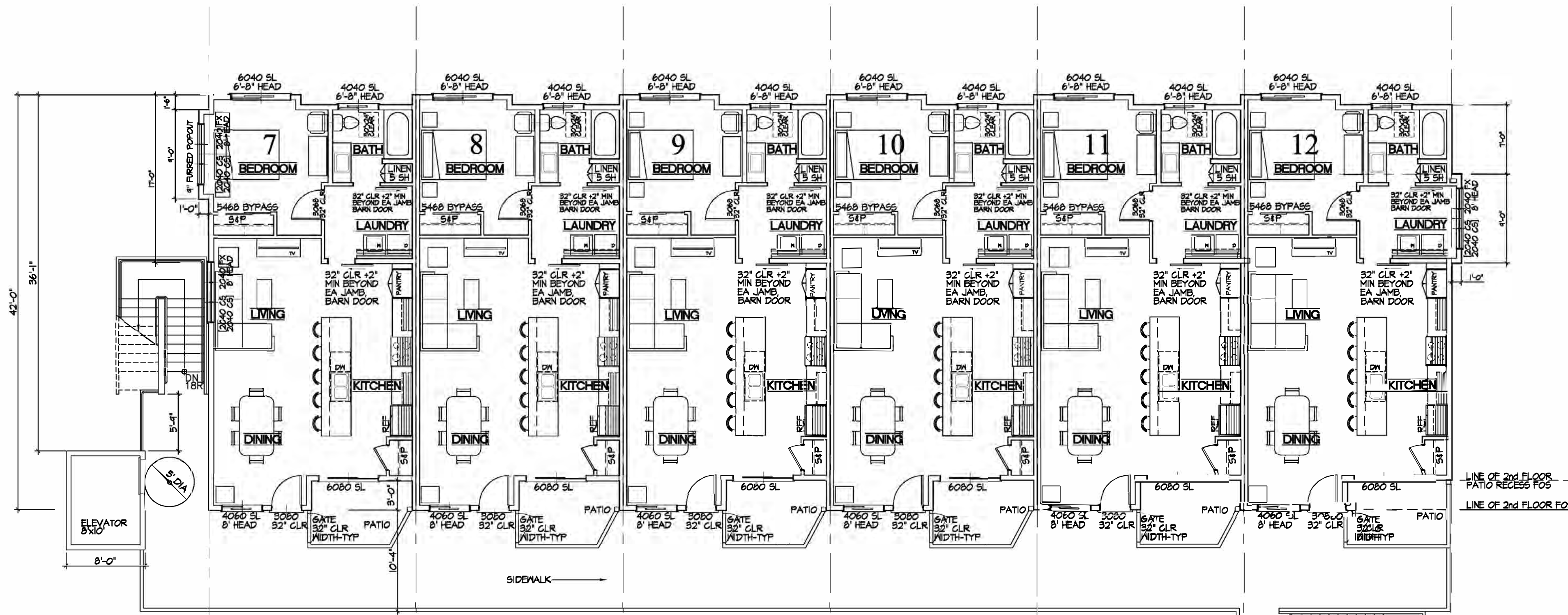
Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

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| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
| Sheet | 2 |
| of 10 Sheets | |

Proposed Apartments
7621 Healdsburg Ave
Sebastopol, CA 1/8"=1'-0"



GROUND FLOOR
Apts 1-6, 590 +/- SF
Porches 143 +/- SF



SECOND FLOOR
Apts 7-12, 760 +/- S.F
Patios 104 +/- SF

7621 Healdsburg Ave. Sebastopol CA
Pacific Realty Development LLC
1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
Apartment Building
Floor Plans

Katherine Austin, AIA, Architect
524 South Main Street, Sebastopol, CA
179 SE Rice Way, Bend, OR
707-529-5565 kaaustin@pacbell.net

Date: 3-27-2024
Scale: As noted
Drawn: KA&MG
Sheet:



East Elevation



North Elevation along Healdsburg Avenue

Note: Drawings are not to scale. Maximum Height at middle parapet is 29' +/- Building steps 6" at each color change to work with slope to minimize height. At no point will the building exceed 30' in height. Floor to floor height is 10' at west end and 11' at east end. Parapet is 3' on east and west, 4' at center. Site slopes in both east and west and north and south direction. Maximum foundation height is 4' on north east and 3' on north west to provide ADA access on the south side.



West Elevation with elevator tower



South Elevation facing parking lot

Apartment Building Elevations NTS

| REVISIONS | BY |
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Pacific Knolls
 Apartment Elevations

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

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|--------------|-----------|
| Date | 3-27-2024 |
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| Drawn | K. Austin |
| Job | |
| Sheet | 4 |
| or 10 Sheets | |



Perspective of Town Homes lots 8 through 5 left to right



Perspective of Town Homes 4 through 1 left to right

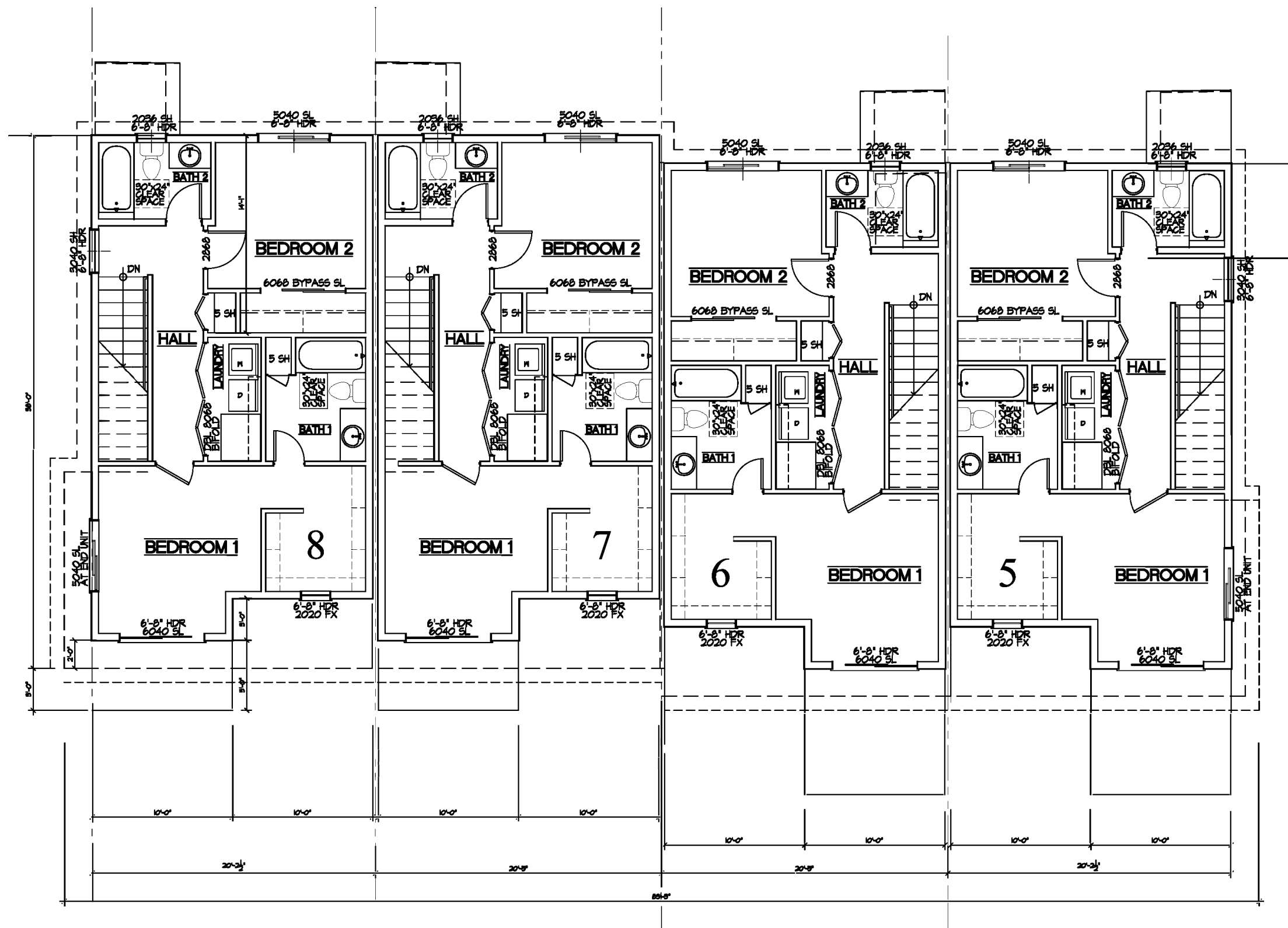
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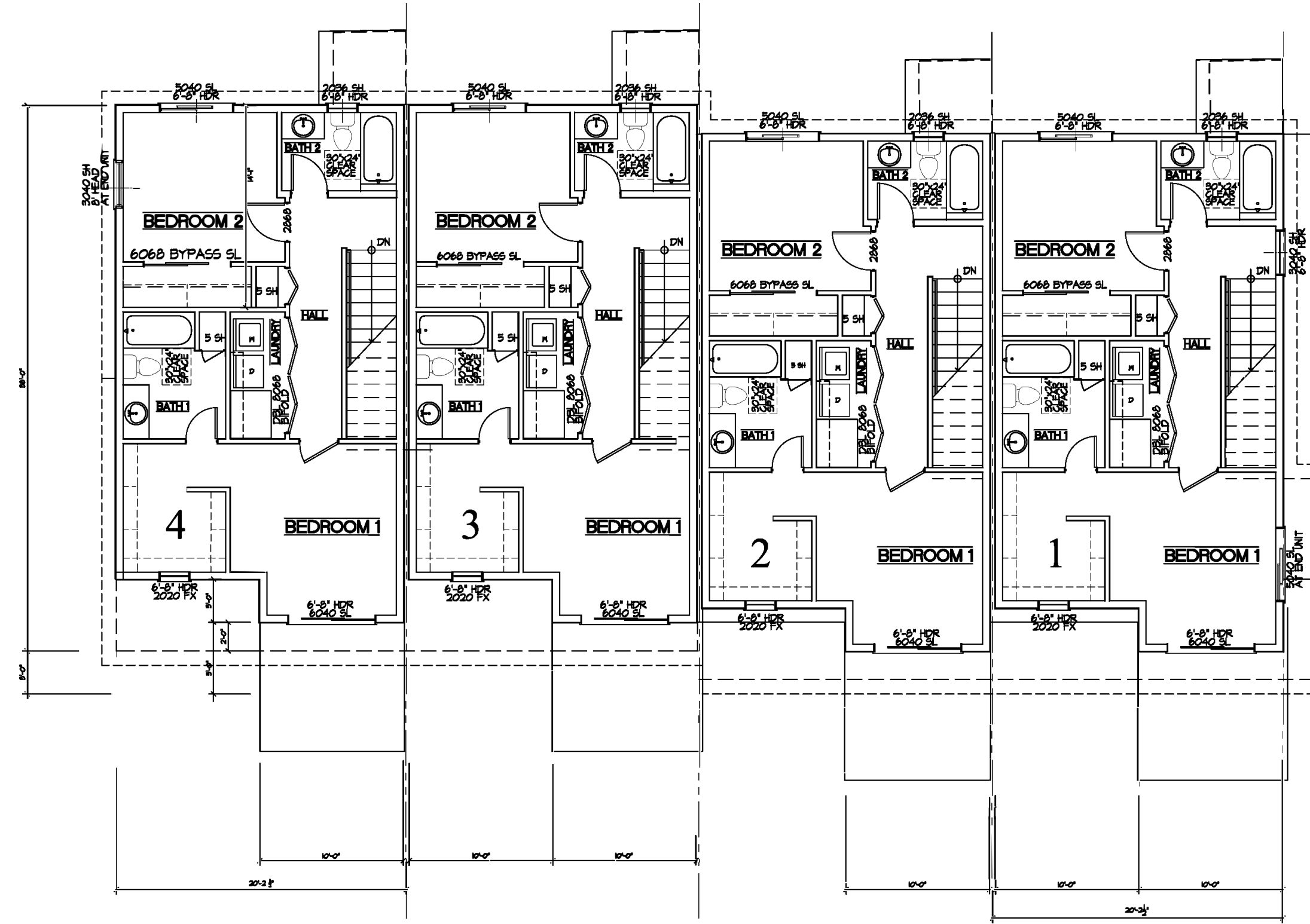
Pacific Knolls
 Town Home Perspectives

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

| | |
|--------------|-----------|
| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
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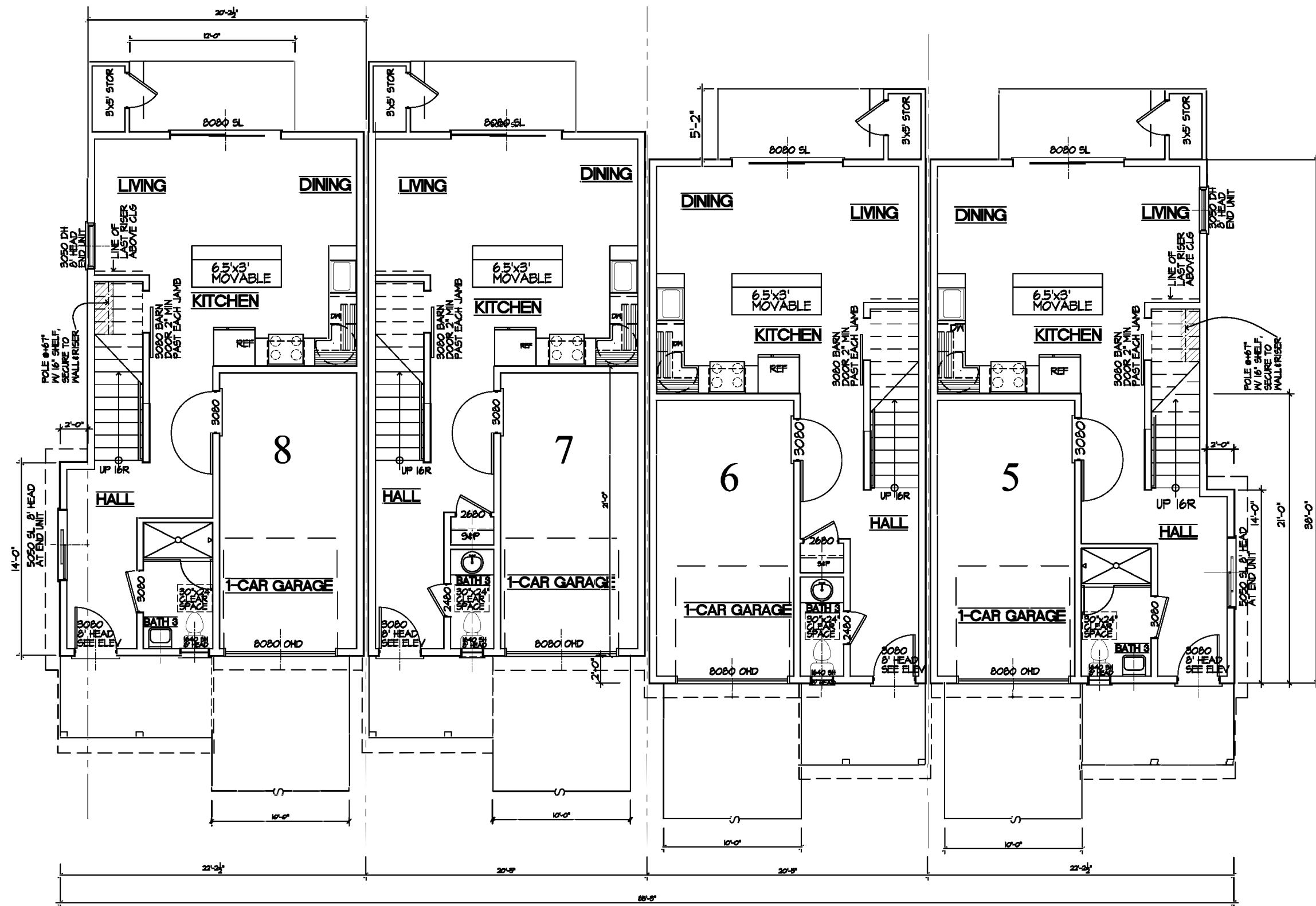


2nd FLOOR

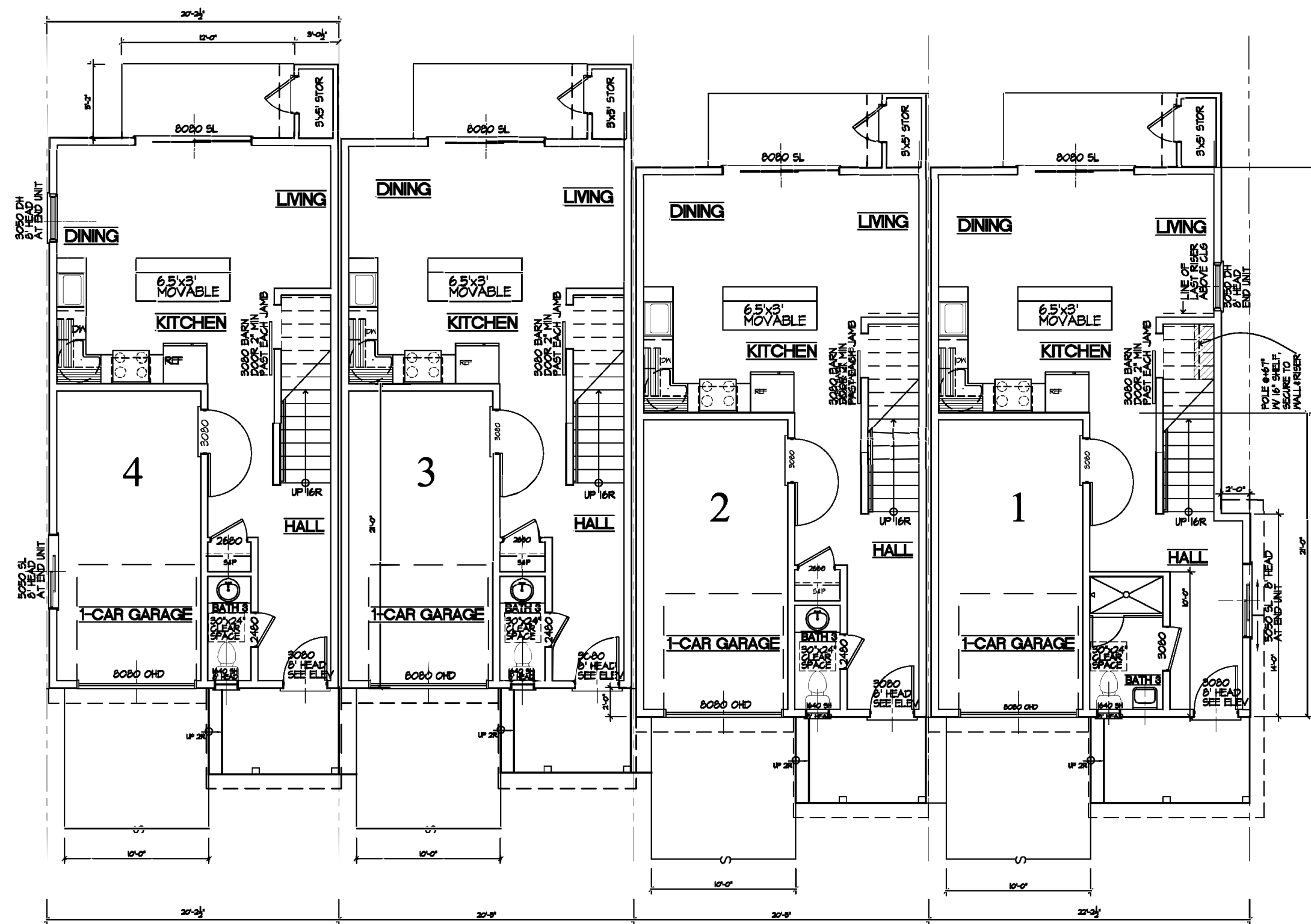


2nd FLOOR

Town Homes 1,5,8 = 1148 +/- SF
 Town Homes 2,3,4,6&7 = 1120 +/- SF



GROUND FLOOR



GROUND FLOOR

Town Homes lots 1 - 8
 Floor Plans

1/8"=1'-0"

7621 Healdsburg Ave. Sebastopol CA
 Pacific Realty Development LLC
 1555 Grant Ave., Novato, CA 415-850-5555

Pacific Knolls
 Town Homes 1-8
 Floor Plans

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565

Date: 3-27-2024
 Scale: As Noted
 Drawn: KA&MG
 Sheet:



East Elevation Lot 4



North Elevations lots 4 through 1 left to right

Note: Drawings are not to scale. Maximum height at peak of ridge is 30', each unit steps with the grade. First floor 9' plate, 12"+/- ceiling joists, second floor 8' plate with scissor trusses for vaulted ceilings. Foundations to be pier and grade beam around root zones and remain as low as possible to grade.



West Elevation lot 1 on Murphy Avenue



South Elevations lots 1 through 4 left to right

Town Home Elevations lots 1 through 4 NTS

| REVISIONS | BY |
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7621 Healdsburg Ave. Sebastopol CA
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 1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
 Town Home Elevations
 Lots 1 through 4

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

| | |
|-------|-----------|
| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
| Sheet | 7 |
| of 10 | Sheets |



East Elevation lot 8

Note: Drawings are not to scale. Maximum height at peak of ridge is 30'. Each unit steps with the grade. First floor 9' plate, 12" +/- ceiling joists, second floor 8' plate with scissor trusses for vaulted ceilings. Foundations to be pier and grade beam around root zones and remain as low as possible to grade.



West Elevation lot 5



North Elevation lots 8 through 5 left to right



South Elevation lots 5 through 8

Town Home Elevations lots 5 through 8 NTS

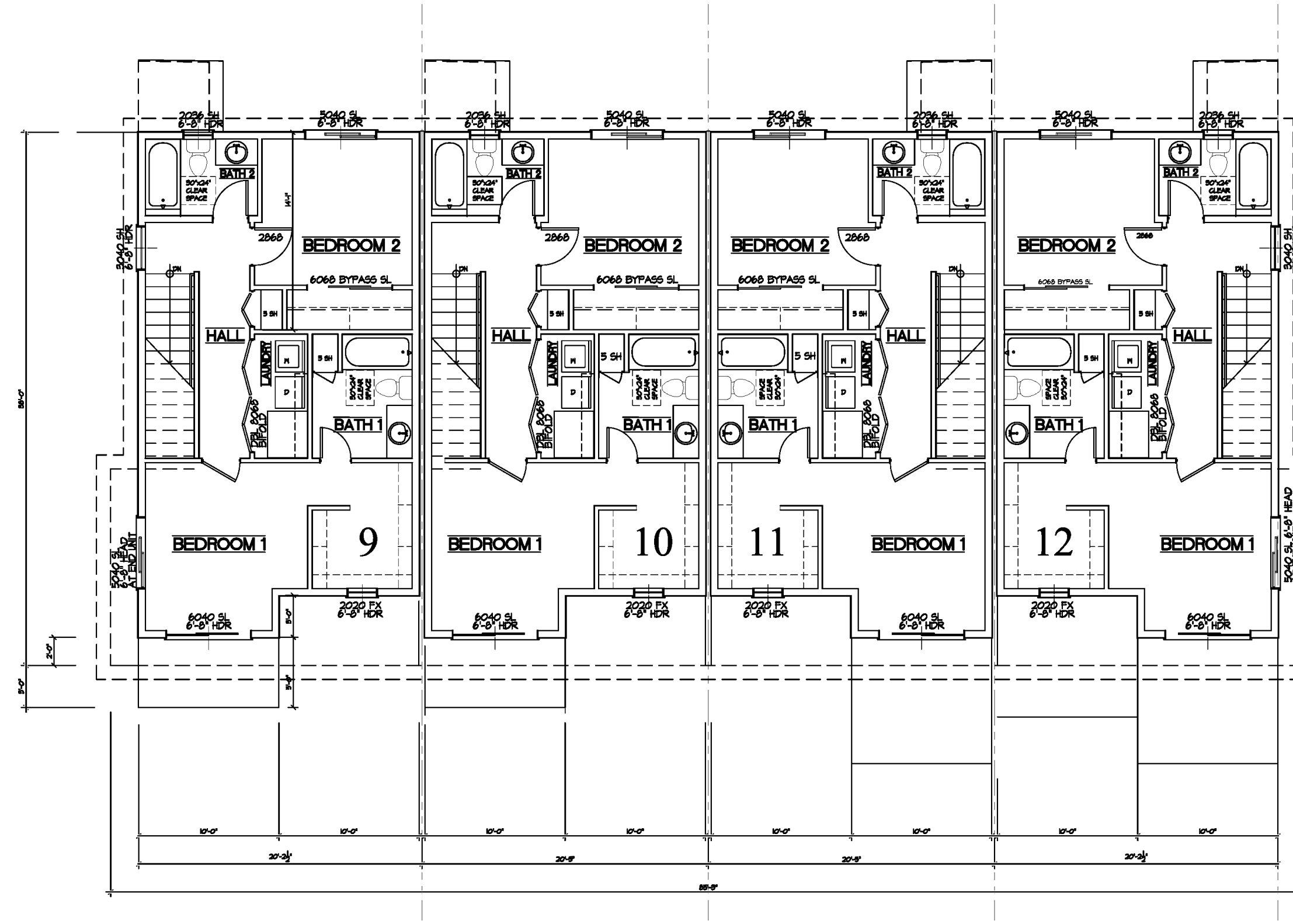
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 Pacific Realty Development LLC
 1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
 Town Home Elevations
 Lots 5 through 8

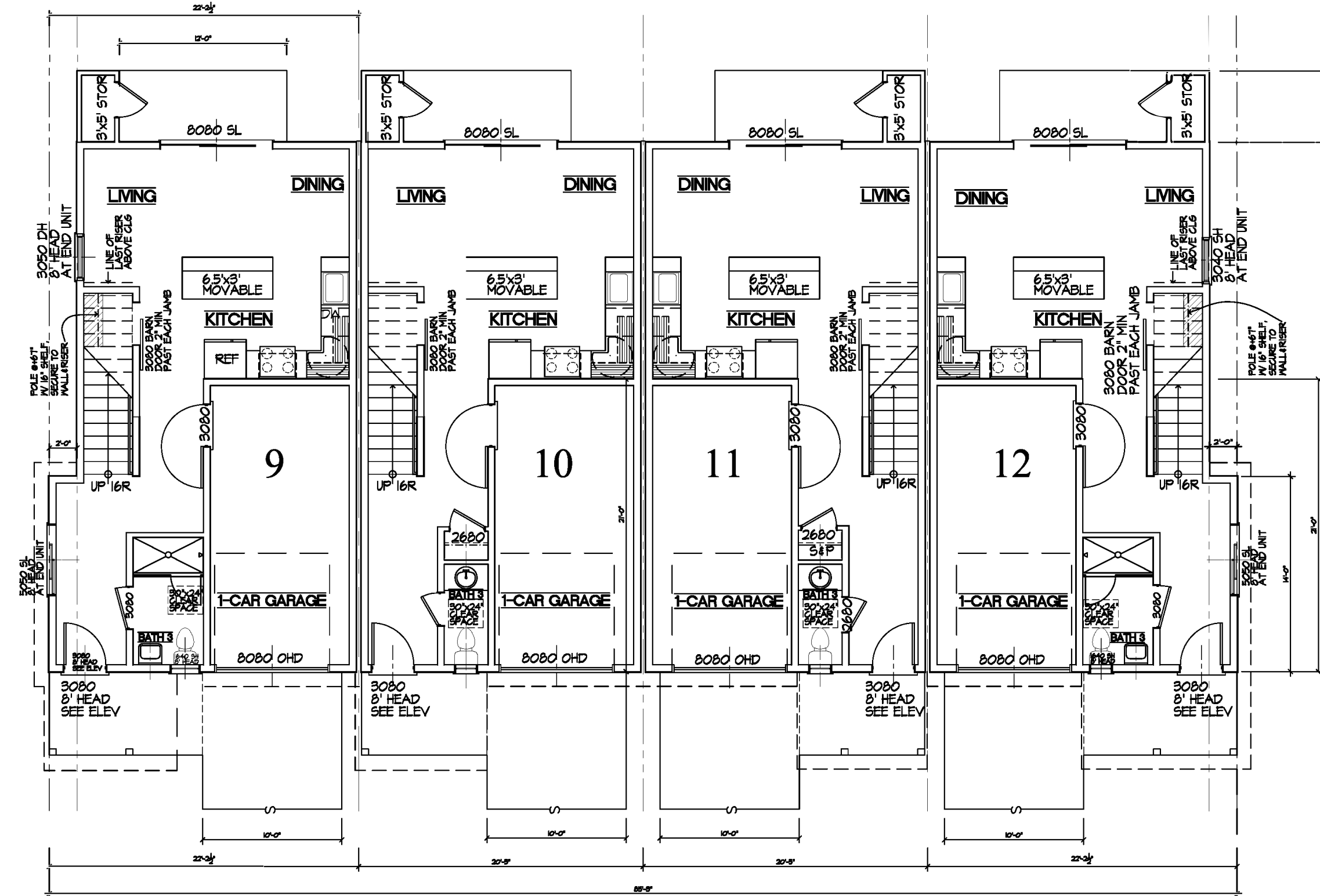
Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

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|-------|-----------|
| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
| Sheet | 8 |
| of 10 | Sheets |



2nd FLOOR

Town Homes 9 & 12 = 1148 +/- SF
 Town Homes 10 & 11 = 1120 +/- SF



GROUND FLOOR

Town Homes 9 - 12
 Floor Plans

1/8" = 1'0"

7621 Healdsburg Ave. Sebastopol CA

Pacific Knolls
 Town Homes 9-12
 Floor Plans

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

Pacific Realty Development LLC
 1555 Grant Ave., Novato, CA, 415-850-5555

Date: 3-27-2024
 Scale: As Noted
 Drawn: KA&MG
 Sheet:



North Elevation lot 9

Note: Drawings are not to scale. Maximum height at peak of ridge is 30', each unit steps with grade. First floor 9' plate, 12" +/- ceiling joists, second floor 8' plate with scissor trusses for vaulted ceilings. Foundations to be pier and grade beam around root zones and remain as low as possible to grade.



West Elevation lots 9 through 12 left to right



South Elevation lot 12



East Elevation lots 12 through 9 left to right

Town Home Elevations lots 9 through 12 NTS

| REVISIONS | BY |
|-----------|----|
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7621 Healdsburg Ave. Sebastopol CA
 Pacific Realty Development LLC
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Pacific Knolls
 Town Home Elevations
 Lots 9 through 12

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

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|--------------|-----------|
| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
| Sheet | 10 |
| or 10 Sheets | |



Street View of Healdsburg Avenue Revised to show access drive on east



Street View of Murphy Avenue with proposed new private street entrance to Town Homes

| REVISIONS | BY |
|-----------|----|
| 8-13-2024 | KA |
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|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>Katherine Austin, AIA, Architect 524 South Main Street, Sebastopol, CA 179 SE Rice Way, Bend, OR 707-529-5565 kaaustin@pacbell.net</p> | <p>Pacific Knolls Street Views of Both Healdsburg & Murphy Aves.</p> | <p>7621 Healdsburg Ave. Sebastopol CA Pacific Realty Development LLC 1555 Grant Ave., Novato, CA, 415-850-5555</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|

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| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
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| of | 10 Sheets |



Perspective of Apartments looking from North East Corner along Healdsburg Avenue, Revised to show access on East



Perspective of the Apartments from the rear Parking Lot, Revised to show access on East

| REVISIONS | BY |
|-----------|----|
| 8-13-2024 | KA |
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 Pacific Realty Development LLC
 1555 Grant Ave., Novato, CA, 415-850-5555

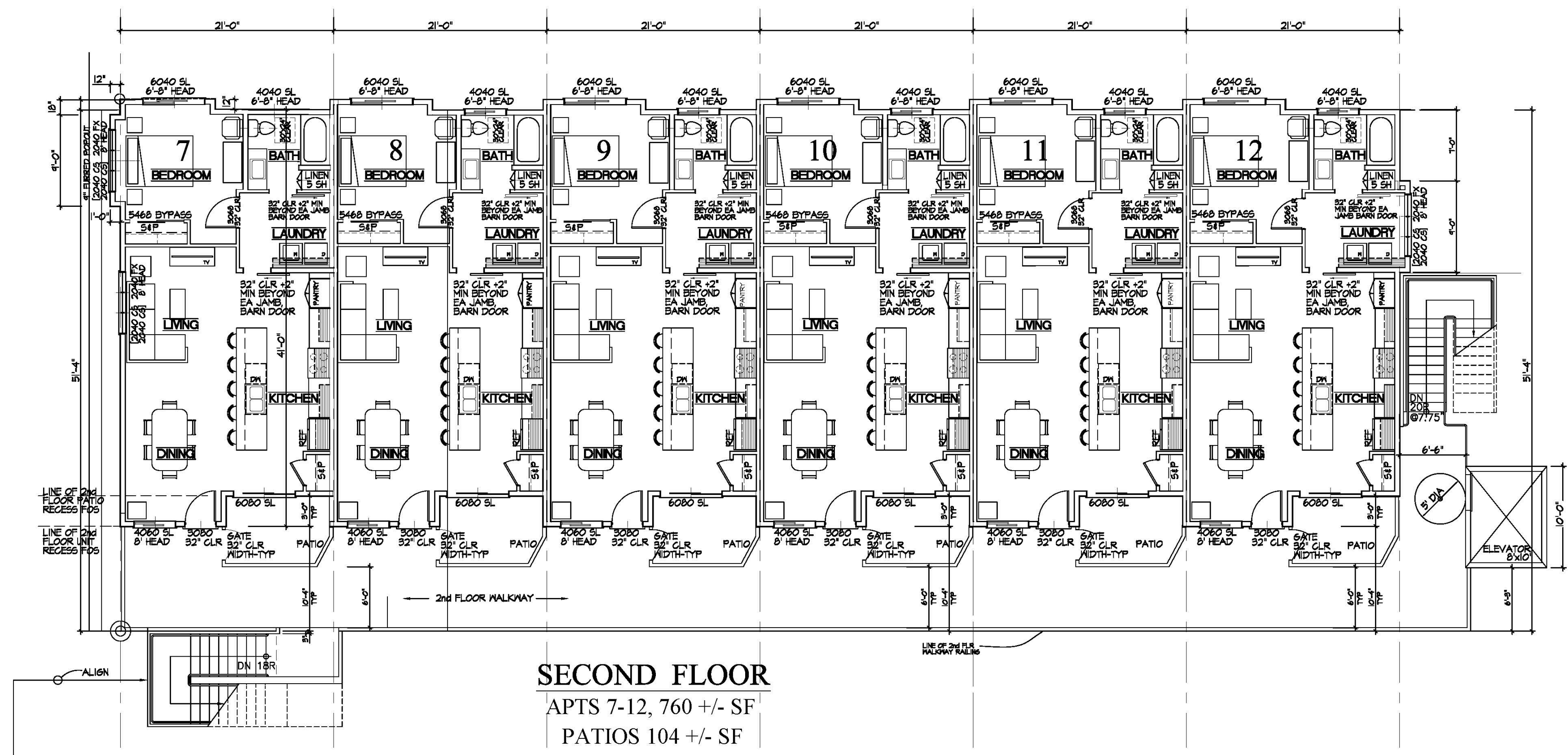
Pacific Knolls
 Apartments Perspectives

Katherine Austin, AIA, Architect
 524 South Main Street, Sebastopol, CA
 179 SE Rice Way, Bend, OR
 707-529-5565 kaaustin@pacbell.net

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| Date | 3-27-2024 |
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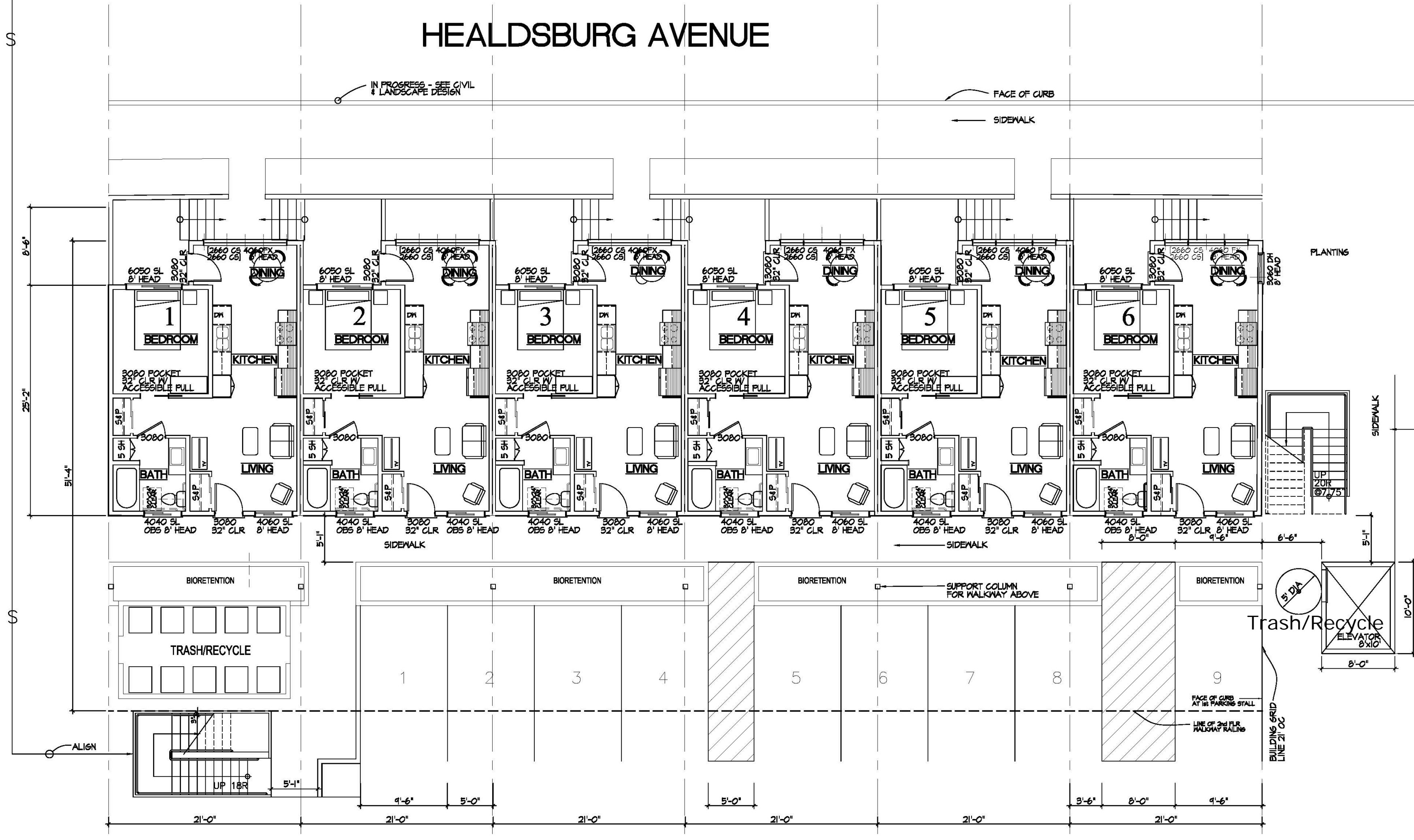
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| Revisions | By |
| 8-13-2024 | KA |

Apts 7-12, 760 +/- S.F
Patios 104 +/- SF



SECOND FLOOR
APTS 7-12, 760 +/- SF
PATIOS 104 +/- SF

Apts 1-6, 590 +/- SF
Porches 143 +/- SF



GROUND FLOOR
APTS 1-6, 590 +/- SF
PORCHES 143 +/- SF

1/8" = 1'-0"

Proposed Apartments⁶ Healdsburg Ave Sebastopol, California

7.23.2024 APARTMENTS
Units 1 thru 12 Healdsburg Ave
Ground and Upper Floors
SEBASTOPOL, CALIFORNIA
KATHERINE AUSTIN, AIA, ARCHITECT
SCALE 1/8"=1'-0"

7621 Healdsburg Ave. Sebastopol CA
Pacific Realty Development LLC
1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
Apartment Building
Floor Plans

Katherine Austin, AIA, Architect
524 South Main Street, Sebastopol, CA
179 SE Rice Way, Bend, OR
707-529-5565 kaaustin@pacbell.net

Date: 3-27-2024
Scale: As noted
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| 8-13-2024 | KA |
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7621 Healdsburg Ave. Sebastopol CA
Pacific Realty Development LLC
1555 Grant Ave., Novato, CA, 415-850-5555

Pacific Knolls
Apartment Elevations

Katherine Austin, AIA, Architect
524 South Main Street, Sebastopol, CA
179 SE Rice Way, Bend, OR
707-529-5565 kaaustin@pacbell.net

| | |
|--------------|-----------|
| Date | 3-27-2024 |
| Scale | As Noted |
| Drawn | K. Austin |
| Job | |
| Sheet | 4 |
| of 10 Sheets | |



East Elevation



North Elevation along Healdsburg Avenue

Note: Drawings are not to scale. Maximum Height at middle parapet is 29' +/- Building steps 6" at each color change to work with slope to minimize height. At no point will the building exceed 30' in height. Floor to floor height is 10' at west end and 11' at east end. Parapet is 3' on east and west, 4' at center. Site slopes in both east and west and north and south direction. Maximum foundation height is 4' on north east and 3' on north west to provide ADA access on the south side.



West Elevation

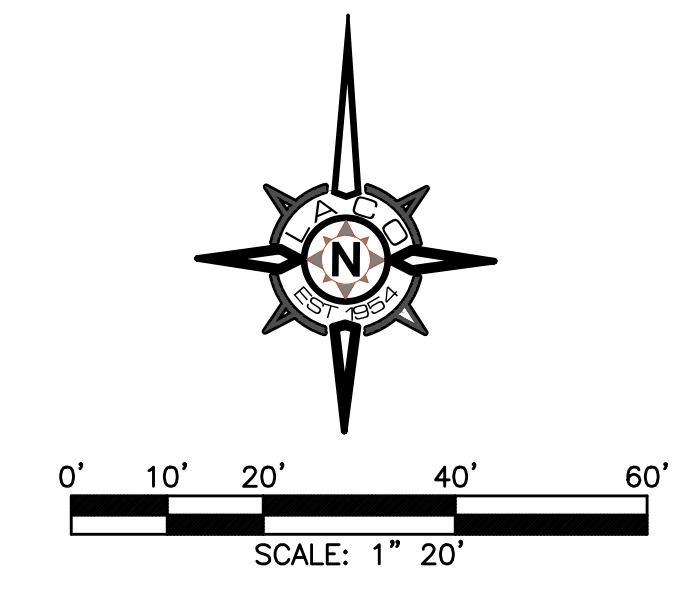
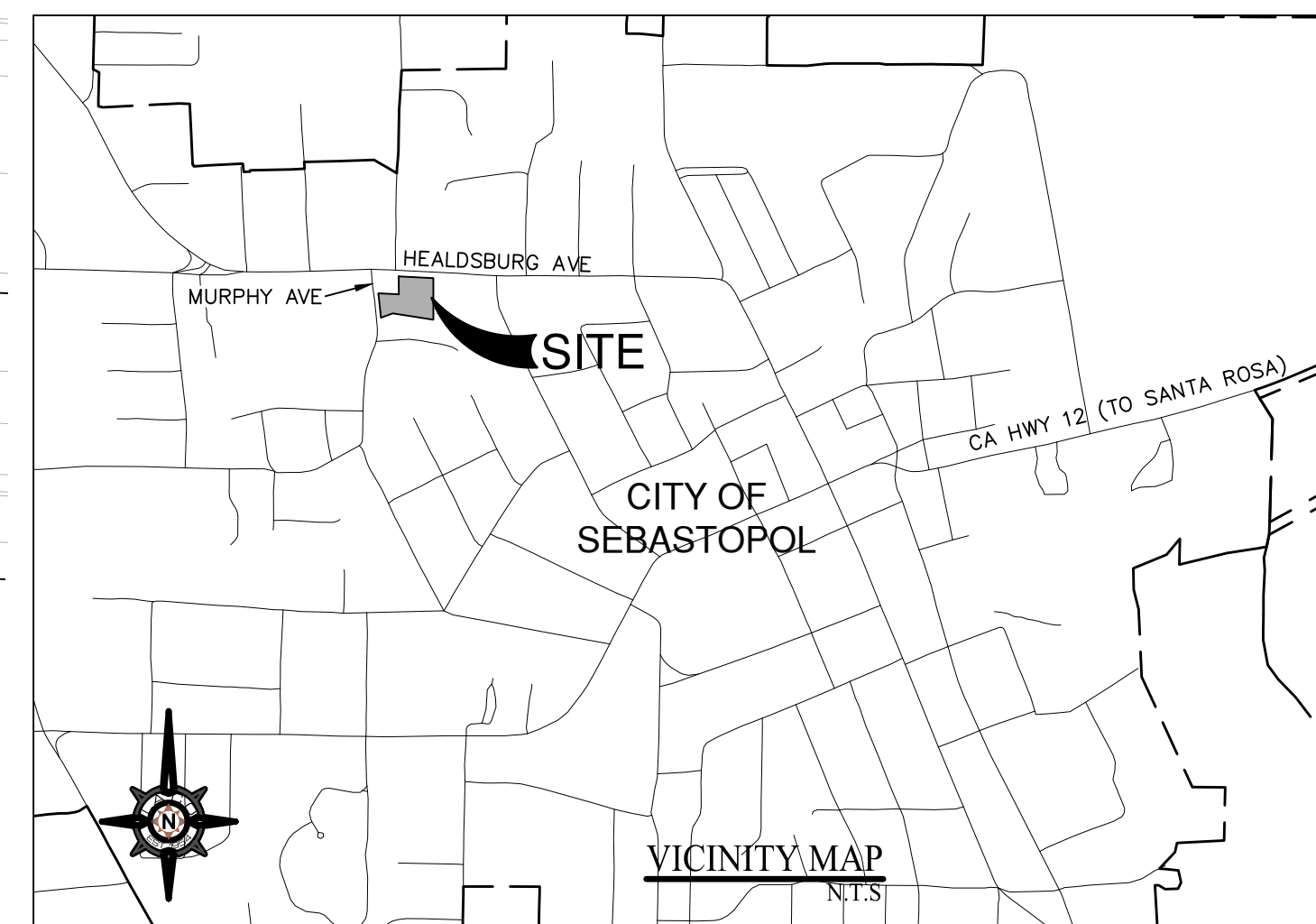


South Elevation facing parking lot

Apartment Building Elevations NTS

8-13-2024 Revised to show access drive on east

PACIFIC KNOLLS VESTING TENTATIVE MAP



LEGEND/ABBREVIATIONS:

| | |
|--|----------------------------------------------------------------------|
| | EXISTING CONTOUR LINE |
| | GRADE BREAK |
| | ROOF RIDGE LINE |
| | PROPOSED EASEMENT |
| | PROPOSED PROPERTY LINE |
| | EXISTING OVERHEAD POWER |
| | EXISTING STORM DRAIN |
| | EXISTING SEWER PIPE |
| | STORM DRAIN PIPE |
| | SEWER PIPE (8" SDR26 PVC) |
| | DOMESTIC WATER PIPE (2", SCH80 PVC) & FIRE WATER PIPE (6" SCH80 PVC) |
| | BRA AREA |
| | CONCRETE |
| | AC |
| | TURF CELL PAVER |
| | FLOW DIRECTION ARROW |
| | STORM DRAIN CLEANOUT |
| | 12"x12" CATCH BASIN W/ GRATE |
| | STORM DRAIN MANHOLE |
| | SEWER CLEANOUT |
| | WATER METER |
| | FIRE HYDRANT |
| | DOUBLE DETECTOR CHECK VALVE |
| | PRESERVED TREE (28 TREES) |
| | DEMOLISHED TREE (40 TREES) |

ABBREVIATIONS:

| | | | |
|------|---------------------------------|-----|----------------|
| AC | ASPHALT CONCRETE | LF | LINEAL FEET |
| ADA | AMERICANS WITH DISABILITIES ACT | LP | LOW POINT |
| BRA | BIO-RETENTION AREA | N | NORTH |
| DCCV | DOUBLE DETECTOR CHECK VALVE | NA | NOT APPLICABLE |
| DI | DRAINAGE INLET | R | RADIUS |
| <E> | EXISTING | S | SOUTH |
| E | EAST | SCH | SCHEDULE |
| EG | EXISTING GRADE | SD | STORM DRAIN |
| EVG | EDGE OF VALLEY GUTTER | SVC | SERVICE |
| FF | FINISHED FLOOR | SW | SIDEWALK |
| FL | FLOW LINE | TC | TOP OF CURB |
| HP | HIGH POINT | TG | TOP OF GRATE |
| INV | INVERT | TYP | TYPICAL |
| | | W | WEST |

PROJECT DATA:

APPLICANT AND PROPERTY OWNER: PACIFIC REALTY DEVELOPMENT LLC
 1555 GRANT AVENUE, NOVATO, CA 94945
 (405) 686-0772

SITE ADDRESS: 7621 HEALDSBURG AVENUE
 SEBASTOPOL, CA 95472

ASSESSOR PARCEL NUMBER: 004-291-019

PROJECT SURVEYOR / ENGINEER: LACO ASSOCIATES
 1550 AIRPORT BLVD., SUITE 120
 SANTA ROSA, CA 95403
 707-525-1222

BASIS OF ELEVATIONS: THE BASIS OF ELEVATION FOR THIS SURVEY WAS ESTABLISHED FROM STATIC GPS OBSERVATIONS AT PROJECT POINT #1, ELEVATION = 140.79 FEET (NAVD88).

PROPOSED LAND USE: RESIDENTIAL MULTIFAMILY

ZONING DISTRICT: OFFICE COMMERCIAL (CO) & MULTIFAMILY RESIDENTIAL (R7)

EXISTING LOT SIZE: 1.28 ACRES

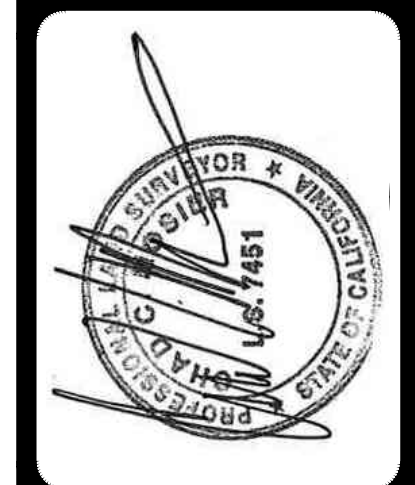
EXISTING LOT COVERAGE: 2% (1,000 SF)

LOTS FOR HEALDSBURG AVE APARTMENTS AND COMMON PARCEL ARE COMMON AREA PARCELS AND ALSO A PUBLIC UTILITY EASEMENT DEDICATED THIS MAP.

NOTE:
 THIS TENTATIVE MAP IS DESIGNED AS A SMALL LOT SUBDIVISION PER THE SEBASTOPOL PLANNING CODE CHAPTER 17.230.



| NO. | REVISION | DATE |
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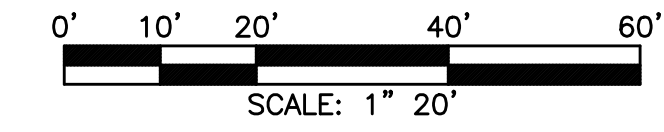
LACO
 SURVEYORS | ENGINEERS | PLANNERS | GRANT WRITERS
 lacoassociates.com

PACIFIC KNOLLS
 SEBASTOPOL, CA
 VESTING TENTATIVE MAP

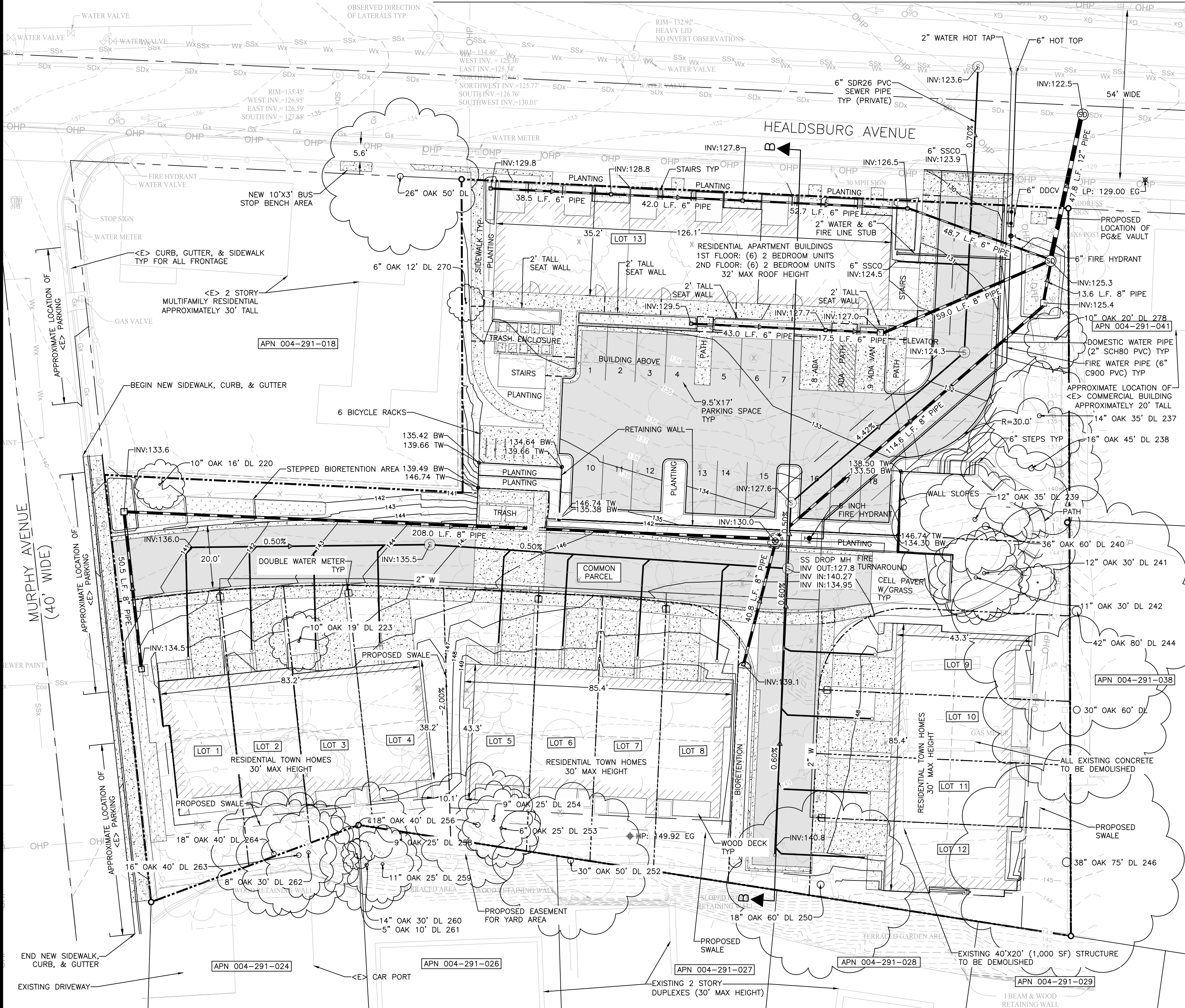
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| JOB NO. | 9272.02 |
| DATE | OCTOBER 2024 |
| DESIGNER | CCM |
| CHECKED | CCM DRAWN CLM |
| SHEET | 1 OF 2 |

Oct15,2024-1:00pm
 C:\Users\laco\OneDrive\Temp\AcP\laco_26296\1727.02 TENTATIVE MAP.dwg
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PACIFIC KNOLLS VESTING TENTATIVE MAP



NOTE:
THE IMPROVEMENTS SHOWN ARE PROVIDED TO SHOW THE INTENT OF THE PROPOSED DESIGN AND ARE NOT INTENDED FOR CONSTRUCTION. UPON APPROVAL OF THE TENTATIVE MAP AND RECEIPT OF FINAL CONDITIONS OF APPROVAL FROM THE CITY, FINAL SUBDIVISION IMPROVEMENT PLANS MUST BE PREPARED AND APPROVED BY THE CITY BEFORE CONSTRUCTION OF THE IMPROVEMENTS.

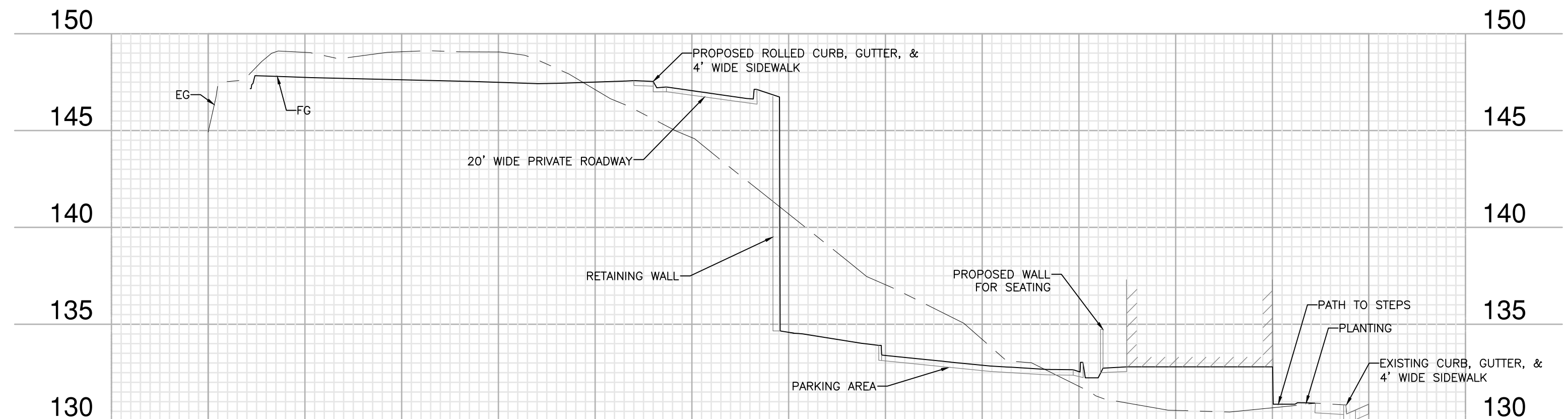


PROJECT DATA TABLE

| LOT | LOT SIZE (SF) | GARAGE AREA (SF) | FIRST FLOOR BUILDING AREA (SF) | SECOND FLOOR BUILDING AREA (SF) | TOTAL BUILDING FLOOR AREA (SF) | FLOOR AREA RATIO | LOT COVERAGE | MAX ALLOWABLE LOT COVERAGE | PROPOSED PARKING SPACES | REQUIRED PARKING SPACES |
|---------------|---------------|------------------|--------------------------------|---------------------------------|--------------------------------|------------------|--------------|----------------------------|-------------------------|-------------------------|
| 1 | 2,995 | 236 | 813 | 700 | 1513 | 43% | 29% | 65% | 2 | 2 |
| 2 | 1,746 | 236 | 785 | 700 | 1485 | 72% | 48% | 65% | 2 | 2 |
| 3 | 1,617 | 236 | 785 | 700 | 1485 | 77% | 52% | 65% | 2 | 2 |
| 4 | 2,165 | 236 | 785 | 700 | 1485 | 58% | 39% | 65% | 2 | 2 |
| 5 | 2,222 | 236 | 813 | 700 | 1513 | 57% | 40% | 65% | 2 | 2 |
| 6 | 1,708 | 236 | 785 | 700 | 1485 | 73% | 49% | 65% | 2 | 2 |
| 7 | 1,742 | 236 | 785 | 700 | 1485 | 72% | 48% | 65% | 2 | 2 |
| 8 | 2,024 | 236 | 785 | 700 | 1485 | 62% | 42% | 65% | 2 | 2 |
| 9 | 1,872 | 236 | 813 | 700 | 1513 | 68% | 43% | 65% | 2 | 2 |
| 10 | 1,649 | 236 | 785 | 700 | 1485 | 76% | 48% | 65% | 2 | 2 |
| 11 | 1,671 | 236 | 785 | 700 | 1485 | 75% | 47% | 65% | 2 | 2 |
| 12 | 2,445 | 236 | 785 | 700 | 1485 | 51% | 32% | 65% | 2 | 2 |
| 13 | 20,505 | 0 | 3,559 | 5,077 | 8636 | 42% | 20% | NA | 18 | 18 |
| COMMON PARCEL | 11,336 | NA | NA | NA | NA | NA | NA | NA | NA | NA |

| EARTHWORK DATA* | |
|-----------------|------|
| CUT | 1502 |
| FILL | 1141 |
| OFF-HAUL | 362 |

*EARTHWORK NUMBERS ARE PRELIMINARY AND MEASURED FROM FINISHED SURFACE TO EXISTING GROUND, AND DOES NOT ACCOUNT FOR SUBGRADE, CONSOLIDATION OR FOUNDATIONS.



SECTION B-B
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=20'

DATE: _____

NO. REVISION: _____

LACO
SURVEYORS | ENGINEERS | PLANNERS | GRANT WRITERS
lacoassociates.com

PACIFIC KNOLLS
SEBASTOPOL, CA
VESTING TENTATIVE MAP

JOB NO. 9272.02
DATE OCTOBER 2024
DESIGNER CCM
CHECKED CCM DRAWN CLM

SHEET 2 OF 2

Oct 15, 2024, 1:00pm
C:\Users\laco\OneDrive\Temp\laco\laco\laco_26296\A\2727.02 TENTATIVE MAP.dwg

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7621 Healdsburg Ave Color and Material Board – K. Austin, Architect
Apartments



Iron Gray

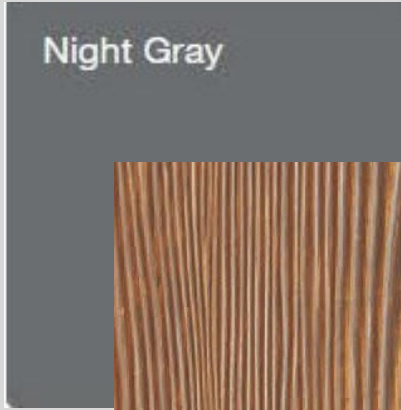


Light Mist

Gray Slate

Hardie Plank, Stucco, Woodtone Summer Wheat Vertical Siding, Cedar Plank Deck Fencing

7621 Healdsburg Ave Color and Material Board – K. Austin, Architect
Town Homes



Hardie Board & Batt + Hardie Plank, Woodtone Summer Wheat Vertical Siding, Weathered Wood GAF Roofing

HORTICULTURAL

Associates

Consultants in Horticulture and Arboriculture

TREE INVENTORY REPORT

7621 Healdsburg Avenue
Sebastopol, CA

Prepared for:

Kathy Austin
AIA, Architect
179 SE Rice Way
Bend, Oregon 97702

Prepared by:

John C. Meserve
ISA Certified Arborist, WE #0478A
ISA Qualified Tree Risk Assessor/TRAQ
ASCA Qualified Tree and Plant Appraiser/TPAQ

July 17, 2023

July 17, 2023

Kathy Austin
Architect AIA
179 SE Rice Way
Bend, Oregon 97702

Re: Completed Tree Inventory Report, 7621 Healdsburg Avenue, Sebastopol,
California

Kathy,

Attached you will find our completed Tree Inventory Report for the above noted site in Sebastopol. A total of 59 trees were evaluated and this includes all trees that are present which are 6 inches or greater in trunk diameter measured at 4.5' above grade and located within or overhanging the property boundaries.

All trees in this report were evaluated and documented for species, size, health, and structural condition. The Tree Inventory Chart also provides an assessment of expected impact for each tree based on the revised plan that was provided, as well as recommendations for preservation or removal. A Tree Location Plan shows the location and numbering sequence of all trees. Also included are a Fencing Detail, Pruning Guidelines, and Tree Preservation Guidelines.

This report is intended to be a basic inventory of trees present at this site, which includes a general review of tree health and structural condition. No in-depth evaluation has occurred on any tree, and assessment has included only external visual examination without probing, drilling, coring, root collar examination, root excavation, or dissecting any tree part. Failures, deficiencies, and problems may occur in these trees in the future, and this inventory in no way guarantees or provides a warranty for their condition. No other trees are included in this report. If other trees need to be included it your responsibility to provide that direction to us.

EXISTING SITE CONDITION SUMMARY

The project site consists of an infill property adjacent to a commercial building, apartments, and a residence.

EXISTING TREE SUMMARY

Species that are native to the site include Coast Live Oak and Black Oak.

Ornamental species include Pears and Fruitless Mulberry.

EXPECTED IMPACTS OF DEVELOPMENT

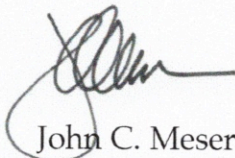
The following impacts are expected based on the tentative map that was reviewed:

- (29) Trees will be removed
- (18) Trees can be retained with a moderate or less impact
- (7) Trees can be retained with a significant impact
- (5) Fruit trees removed without requiring mitigation

This site poses significant constraints on the effective preservation of many trees. There are seven trees that will be significantly impacted, and there will be a serious effort to preserve and protect these trees to the greatest extent possible given site constraints. These efforts will include pre-construction enhancement of health and vitality as well as active post construction management to offset the impacts of construction.

Please feel free to contact me if you have questions regarding this report.

Regards,



John C. Meserve
ISA Certified Arborist, WE #0478A
ISA Qualified Tree Risk Assessor/TRAQ
ASCA Qualified Tree and Plant Appraiser/TPAQ



TREE INVENTORY CHART

TREE INVENTORY
7621 Healdsburg Avenue
Sebastopol, CA

July 17, 2022

| Tree # | Species | Common Name | Trunk (dbh ± inches) | Height (± feet) | Radius (± feet) | Health 1 - 5 | Structure 1 - 4 | Expected Impact | Recommendations |
|--------|--------------------------|----------------|----------------------|-----------------|-----------------|--------------|-----------------|-----------------|-----------------|
| 220 | <i>Quercus agrifolia</i> | Coast Live Oak | 5+6+6+8 | 18 | 12 | 4 | 3 | 0 | 1, 6, 7, 8, 9, |
| 221 | <i>Pyrus communis</i> | Pear | 4+5+6 | 12 | 8 | 2 | 2 | 3 | 2, 3 |
| 222 | <i>Quercus agrifolia</i> | Coast Live Oak | 9 | 15 | 8 | a | 3 | 3 | 2 |
| 223 | <i>Quercus agrifolia</i> | Coast Live Oak | 14 | 20 | 16 | 4 | 3 | 3 | 2 |
| 224 | <i>Quercus agrifolia</i> | Coast Live Oak | 25 | 40 | 24 | 4 | 3 | 3 | 2 |
| 225 | <i>Quercus agrifolia</i> | Coast Live Oak | 8+11 | 35 | 18 | 4 | 3 | 3 | 2 |
| 226 | <i>Quercus agrifolia</i> | Coast Live Oak | 3+15 | 45 | 30 | 4 | 2 | 3 | 2, 3 |
| 227 | <i>Quercus agrifolia</i> | Coast Live Oak | 12+29 | 45 | 30 | 4 | 3 | 3 | 2 |
| 228 | <i>Quercus agrifolia</i> | Coast Live Oak | 27 | 40 | 30 | 4 | 3 | 3 | 2 |
| 229 | <i>Quercus agrifolia</i> | Coast Live Oak | 32 | 45 | 30 | 4 | 3 | 3 | 2 |
| 230 | <i>Quercus agrifolia</i> | Coast Live Oak | 20+30 | 45 | 30 | 4 | 3 | 3 | 2 |

HORTICULTURAL ASSOCIATES
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TREE INVENTORY
7621 Healdsburg Avenue
Sebastopol, CA

July 17, 2022

| Tree # | Species | Common Name | Trunk (dbh ± inches) | Height (± feet) | Radius (± feet) | Health 1 - 5 | Structure 1 - 4 | Expected Impact | Recommendations |
|--------|--------------------------|----------------|----------------------|-----------------|-----------------|--------------|-----------------|-----------------|---------------------------|
| 231 | <i>Quercus agrifolia</i> | Coast Live Oak | 11+12+15 | 45 | 20 | 4 | 2 | 3 | 2 |
| 232 | <i>Quercus agrifolia</i> | Coast Live Oak | 10+21+26+26+38 | 45 | 35 | 4 | 3 | 3 | 2 |
| 233 | <i>Quercus agrifolia</i> | Coast Live Oak | 10+16 | 40 | 21 | 4 | 3 | 3 | 2 |
| 234 | <i>Quercus agrifolia</i> | Coast Live Oak | 9 | 40 | 15 | 4 | 3 | 3 | 2 |
| 235 | <i>Quercus agrifolia</i> | Coast Live Oak | 19 | 45 | 22 | 4 | 3 | 3 | 2 |
| 236 | <i>Quercus agrifolia</i> | Coast Live Oak | 18+21 | 45 | 30 | 4 | 2 | 3 | 2 |
| 237 | <i>Quercus agrifolia</i> | Coast Live Oak | 7+18 | 35 | 22 | 4 | 3 | 1 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 238 | <i>Quercus agrifolia</i> | Coast Live Oak | 19 | 45 | 18 | 4 | 3 | 1 | 1, 6, 7, 8, 9 |
| 239 | <i>Quercus agrifolia</i> | Coast Live Oak | 13 | 30 | 18 | 2 | 2 | 2 | 3 |
| 240 | <i>Quercus agrifolia</i> | Coast Live Oak | 12+17+19 | 40 | 25 | 4 | 3 | 2 | 1, 6, 7, 8, 9 |
| 241 | <i>Quercus agrifolia</i> | Coast Live Oak | 7+7 | 22 | 12 | 4 | 3 | 2 | 1, 6, 7, 8, 9 |

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July 17, 2022

| Tree # | Species | Common Name | Trunk (dbh ± inches) | Height (± feet) | Radius (± feet) | Health 1 - 5 | Structure 1 - 4 | Expected Impact | Recommendations |
|--------|--------------------------|--------------------|----------------------|-----------------|-----------------|--------------|-----------------|-----------------|---------------------------|
| 242 | <i>Quercus kelloggii</i> | Black Oak | 12 | 35 | 17 | 4 | 3 | 2 | 1, 6, 7, 8, 9 |
| 243 | <i>Quercus agrifolia</i> | Coast Live Oak | 5 | 14 | 10 | 3 | 3 | 3 | 1, 6, 7, 8, 9 |
| 244 | <i>Quercus kelloggii</i> | Black Oak | 30+36 | 50 | 40 | 4 | 2 | 2 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 245 | <i>Quercus agrifolia</i> | Coast Live Oak | 24+26 | 50 | 35 | 4 | 2 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 246 | <i>Quercus agrifolia</i> | Coast Live Oak | 44 | 50 | 35 | 4 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 247 | <i>Morus alba</i> | Fruitless Mulberry | 7 | 10 | 8 | 2 | 2 | 3 | 2, 3 |
| 248 | <i>Quercus kelloggii</i> | Black Oak | 19 | 40 | 22 | 4 | 3 | 3 | 2 |
| 249 | <i>Quercus kelloggii</i> | Black Oak | 12 | 35 | 20 | 4 | 3 | 3 | 2 |
| 250 | <i>Quercus kelloggii</i> | Black Oak | 14+14 | 35 | 24 | 3 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 251 | <i>Quercus agrifolia</i> | Coast Live Oak | 30 | 50 | 30 | 4 | 3 | 2 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 252 | <i>Quercus agrifolia</i> | Coast Live Oak | 24+24 | 45 | 28 | 3 | 3 | 1 | 1, 6, 7, 8, 9, 10, 11, 12 |

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TREE INVENTORY
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July 17, 2022

| Tree # | Species | Common Name | Trunk (dbh ± inches) | Height (± feet) | Radius (± feet) | Health 1 - 5 | Structure 1 - 4 | Expected Impact | Recommendations |
|--------|--------------------------|----------------|----------------------|-----------------|-----------------|--------------|-----------------|-----------------|---------------------------|
| 253 | <i>Quercus agrifolia</i> | Coast Live Oak | 6 | 18 | 10 | 3 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 254 | <i>Quercus agrifolia</i> | Coast Live Oak | 11 | 40 | 16 | 4 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 255 | no tree 355 | x | x | x | x | x | x | x | x |
| 256 | <i>Quercus agrifolia</i> | Coast Live Oak | 21 | 50 | 26 | 4 | 2 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 257 | <i>Quercus agrifolia</i> | Coast Live Oak | 16 | 40 | 20 | 4 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 258 | <i>Quercus agrifolia</i> | Coast Live Oak | 8+9 | 35 | 16 | 4 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 259 | <i>Quercus agrifolia</i> | Coast Live Oak | 12 | 40 | 14 | 4 | 3 | 1 | 1, 6, 7, 8, 9 |
| 260 | <i>Quercus agrifolia</i> | Coast Live Oak | 14 | 40 | 18 | 4 | 3 | 0 | 1, 6 |
| 261 | <i>Quercus agrifolia</i> | Coast Live Oak | 5 | 18 | 8 | 2 | 2 | 1 | 1, 6, 7, 8, 9 |
| 262 | <i>Quercus agrifolia</i> | Coast Live Oak | 6 | 12 | 10 | 3 | 3 | 1 | 1, 6, 7, 8, 9 |
| 263 | <i>Quercus agrifolia</i> | Coast Live Oak | 16+16 | 40 | 30 | 4 | 3 | 1 | 1, 6, 7, 8, 9 |

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July 17, 2022

| Tree # | Species | Common Name | Trunk (dbh ± inches) | Height (± feet) | Radius (± feet) | Health 1 - 5 | Structure 1 - 4 | Expected Impact | Recommendations |
|--------|--------------------------|----------------|----------------------|-----------------|-----------------|--------------|-----------------|-----------------|---------------------------|
| 264 | <i>Quercus agrifolia</i> | Coast Live Oak | 7+22 | 45 | 22 | 3 | 3 | 1 | 1, 6, 7, 8, 9 |
| 265 | <i>Quercus agrifolia</i> | Coast Live Oak | 23 | 50 | 24 | 4 | 3 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 266 | <i>Pyrus communis</i> | Pear | 5+5+6+7+12 | 15 | 10 | 2 | 3 | 3 | 3, 13 |
| 267 | <i>Quercus kelloggii</i> | Black Oak | 6 | 25 | 15 | 4 | 3 | 3 | 2 |
| 268 | <i>Quercus agrifolia</i> | Coast Live Oak | 14 | 35 | 16 | 4 | 3 | 3 | 2 |
| 269 | <i>Quercus kelloggii</i> | Black Oak | 9 | 35 | 16 | 4 | 3 | 3 | 2 |
| 270 | <i>Quercus agrifolia</i> | Coast Live Oak | 5+6 | 15 | 10 | 4 | 3 | 2 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 271 | <i>Quercus agrifolia</i> | Coast Live Oak | 15 | 22 | 14 | 4 | 3 | 3 | 2 |
| 272 | <i>Pyrus communis</i> | Pear | 6+9+10+10+10 | 15 | 10 | 1 | 2 | 3 | 2, 3, 13 |
| 273 | <i>Pyrus communis</i> | Pear | 5+5+6+6+6 | 15 | 10 | 1 | 2 | 3 | 2, 3, 13 |
| 274 | <i>Quercus agrifolia</i> | Coast Live Oak | 30 | 22 | 35 | 3 | 1 | 3 | 2, 3 |

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TREE INVENTORY
 7621 Healdsburg Avenue
 Sebastopol, CA

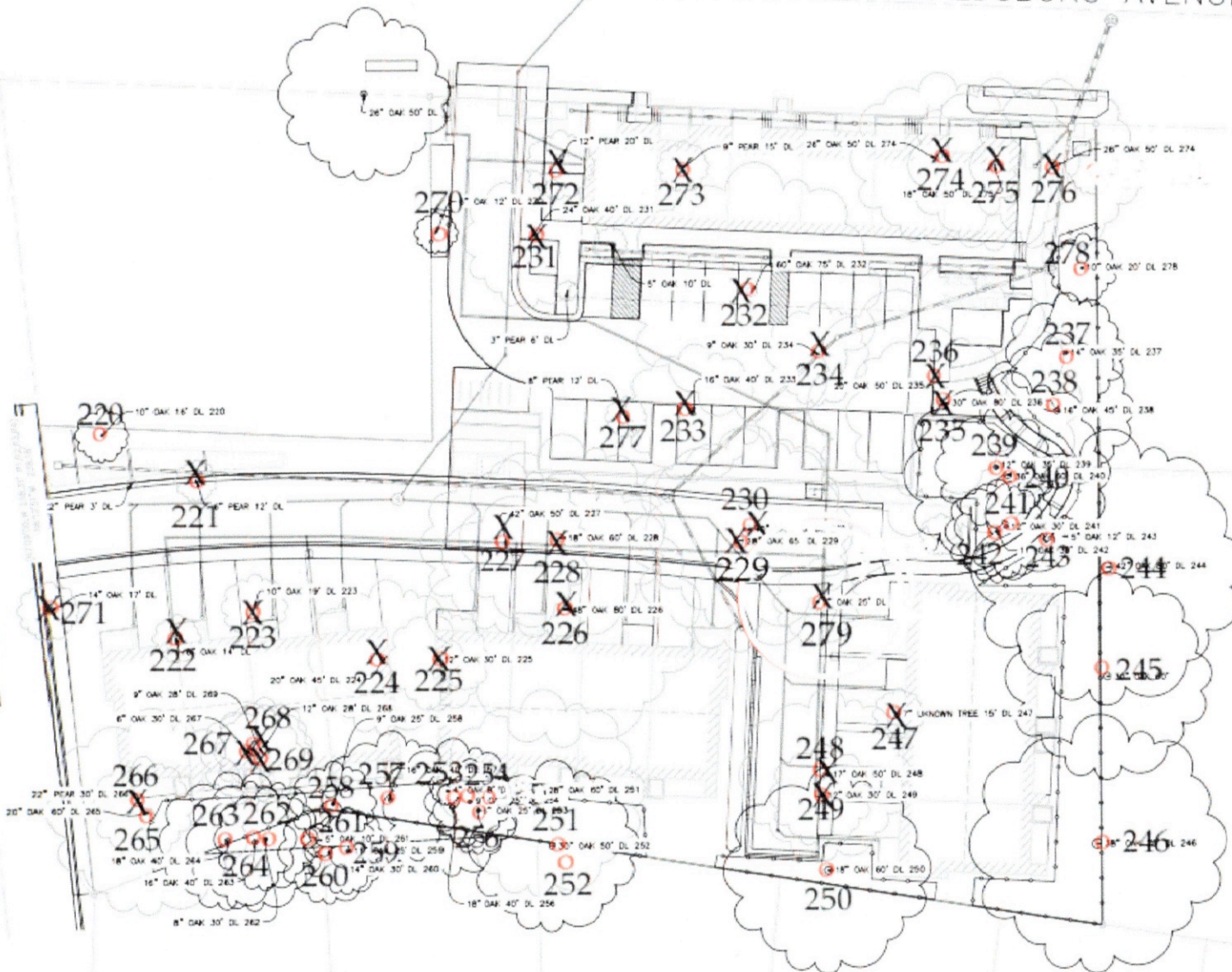
July 17, 2022

| Tree # | Species | Common Name | Trunk (dbh ± inches) | Height (± feet) | Radius (± feet) | Health 1 - 5 | Structure 1 - 4 | Expected Impact | Recommendations |
|--------|--------------------------|----------------|----------------------|-----------------|-----------------|--------------|-----------------|-----------------|---------------------------|
| 275 | <i>Quercus agrifolia</i> | Coast Live Oak | 10+20 | 40 | 35 | 4 | 3 | 3 | 2 |
| 276 | <i>Quercus agrifolia</i> | Coast Live Oak | 23 | 40 | 35 | 4 | 1 | 3 | 1, 6, 7, 8, 9, 10, 11, 12 |
| 277 | <i>Pyrus communis</i> | Pear | 3+4+5 | 12 | 6 | 4 | 3 | 3 | 2, 13 |
| 278 | <i>Quercus agrifolia</i> | Coast Live Oak | 11 | 24 | 12 | 2 | 2 | 0 | 1, 6 |
| 279 | <i>Quercus agrifolia</i> | Coast Live Oak | 8 | 25 | 14 | 4 | 3 | 3 | 2 |
| | | | | | | | | | |

TREE LOCATION PLAN

HEALDSBURG AVENUE

MURPHY AVENUE



TREE LOCATION AND NUMBERING PLAN
7621 HEALDSBURG AVENUE
SEBASTOPOL, CA

KEY TO TREE
INVENTORY CHART

KEY TO TREE INVENTORY CHART

7621 Healdsburg Avenue
Healdsburg, CA

Tree Number

Each tree has been identified in the field with an aluminum tag and reference number. Tags are attached to the trunk at approximately eye level. The *Tree Location Plan* illustrates the location of each numbered tree.

Species

Each tree has been identified by genus, species and common name. Many species have more than one common name.

Trunk

Each trunk has been measured or estimated, in inches, to document its diameter, at 4.5 feet above adjacent grade. Trunk diameter is a good indicator of age, and is commonly used to determine mitigation replacement requirements.

Height

Height is estimated in feet, using visual assessment.

Radius

Radius is estimated in feet, using visual assessment. Since many canopies are asymmetrical, it is not uncommon for a radius estimate to be an average of the canopy size.

Health

The following descriptions are used to rate the health of a tree. Trees with a rating of 4 or 5 are very good candidates for preservation and will tolerate more construction impacts than trees in poorer condition. Trees with a rating of 3 may or may not be good candidates for preservation, depending on the species and expected construction impacts. Trees with a rating of 1 or 2 are generally poor candidates for preservation.

- (5) Excellent - health and vigor are exceptional, no pest, disease, or distress symptoms.
- (4) Good - health and vigor are average, no significant or specific distress symptoms, no significant pest or disease.
- (3) Fair - health and vigor are somewhat compromised, distress is visible, pest or disease may be present and affecting health, problems are generally correctable.
- (2) Marginal - health and vigor are significantly compromised, distress is highly visible and present to the degree that survivability is in question.
- (1) Poor - decline has progressed beyond the point of being able to return to a healthy condition again. Long-term survival is not expected. This designation includes dead trees.

Structure

The following descriptions are used to rate the structural integrity of a tree. Trees with a rating of 3 or 4 are generally stable, sound trees which do not require significant pruning, although cleaning, thinning, or raising the canopy might be desirable. Trees with a rating of 2 are generally poor candidates for preservation unless they are preserved well away from improvements or active use areas. Significant time and effort would be required to reconstruct the canopy and improve structural integrity. Trees with a rating of 1 are hazardous and should be removed.

- (4) Good structure - minor structural problems may be present which do not require corrective action.
- (3) Moderate structure - normal, typical structural issues which can be corrected with pruning.
- (2) Marginal structure - serious structural problems are present which may or may not be correctable with pruning, cabling, bracing, etc.
- (1) Poor structure - hazardous structural condition which cannot be effectively corrected with pruning or other measures, may require removal depending on location and the presence of targets.

Development Impacts

Considering the proximity of construction activities, type of activities, tree species, and tree condition - the following ratings are used to estimate the amount of impact on tree health and stability. Most trees will tolerate a (1) rating, many trees could tolerate a (2) rating with careful consideration and mitigation, but trees with a (3) rating are poor candidates for preservation due to their very close proximity to construction or because they are located within the footprint of construction and cannot be preserved.

- (3) A significant impact on long term tree integrity can be expected as a result of proposed development.
- (2) A moderate impact on long term tree integrity can be expected as a result of proposed development.
- (1) A minor impact on long term tree integrity can be expected as a result of proposed development.
- (0) No impact expected if protected per recommendations.

Suitability for Preservation

- (4) Excellent suitability for preservation based on existing condition
- (3) Good suitability for preservation based on existing condition
- (2) Fair suitability for preservation based on existing condition
- (1). Very poor suitability for preservation based on existing condition

Recommendations

Recommendations are provided for removal or preservation. For those being preserved, protection measures and mitigation procedures to offset impacts and improve tree health are provided.

- (1) Preservation appears to be possible.
- (2) Removal is required due to significant development impacts.
- (3) Removal is required due to poor health or hazardous structure.
- (4) Removal is required due to significant development impacts and poor existing condition.
- (5) Removal is recommended due to poor species characteristics.
- (6) Install temporary protective fencing at the edge of the dripline, or edge of approved construction, prior to beginning grading or construction. Maintain fencing in place for duration of all construction activity in the area.
- (7) Maintain existing grade within the fenced portion of the dripline. Route drainage swales and all underground work outside the dripline where possible.
- (8) Place a 4" layer of chipped bark mulch over the soil surface within the fenced dripline prior to installing temporary fencing. Maintain this layer of mulch throughout construction.
- (9) Prune to clean the canopy, per International Society of Arboriculture pruning standards.
- (10) The impacts of adjacent grading cannot be mitigated due to design constraints.
- (11) Excavation will be required within the TPZ and the dripline for development. Excavation within the TPZ of any type must adhere to the following guidelines:

All roots encountered that are 1 inch or larger in diameter must be cleanly cut as they are encountered by excavating equipment.

Roots may not be ripped from the ground and then trimmed. They must be trimmed as encountered and this will require the use of a ground man working with a suitable power tool.

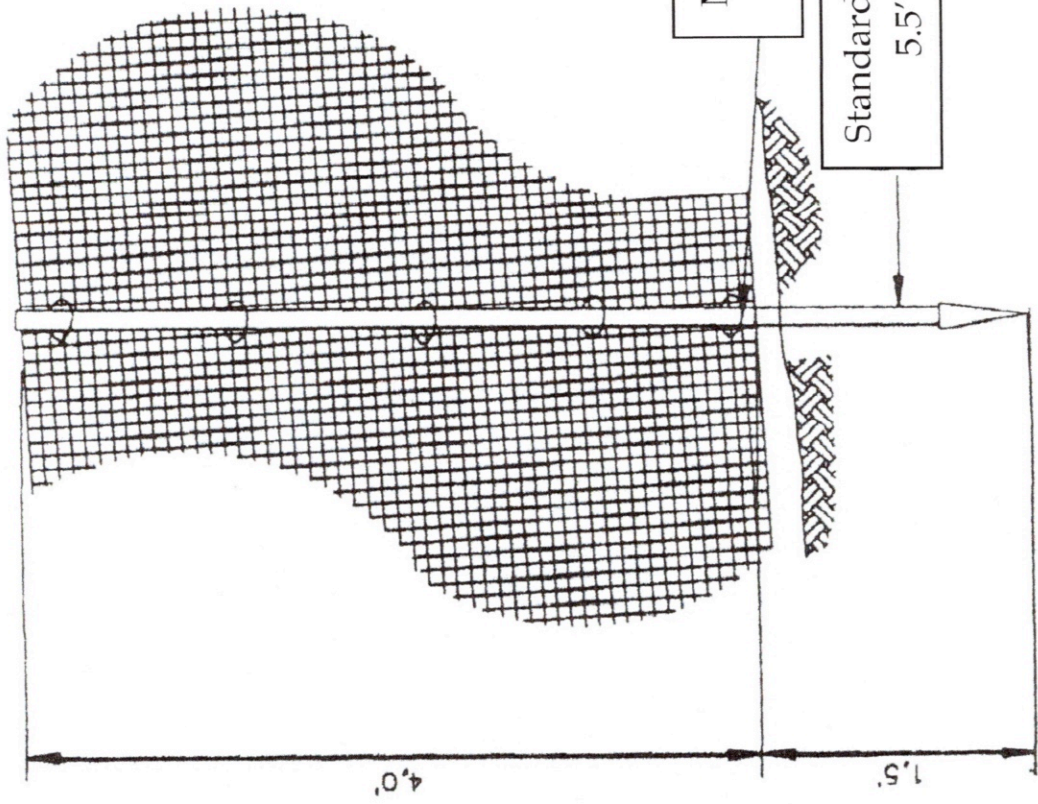
Pruned and exposed roots greater than 1 inches in diameter must be protected from desiccation if left exposed for more than 24 hours. Cover cut roots with heavy cloth, burlap, used carpeting, or similar material that has been soaked in water, until trench or excavation has been backfilled.

If excavation impacts more than 20% of the defined TPZ then supplemental irrigation may be required to offset loss of roots. Excavation in this case should be directed by the project arborist who will determine whether mitigation is required, when, and how.

Any excavation within the defined TPZ will require that the tree be monitored on a monthly basis by the project arborist for the duration of construction and for two years beyond completion of construction. Monitoring may determine other mitigation measures that may be required to offset root loss or damage.

- (12) Post construction remediation will be required for any chance of survival including mulching and irrigation during the growing season.
- (13) Fruit tree exempt from preservation or mitigation

TREE FENCING DETAIL



NOTE

Metal Wire Tree Protection Fencing

Minimum 4-ft high steel welded wire fencing with mesh size 2-in x 4-in, or arborist approved wire fence substitute. Cut and shape as needed for sloping terrain

Metal tie wire, flip tie, or equivalent, 5 per post

Standard farm quality metal "T" post, 5.5' tall, placed 8' on center

METAL WIRE TREE PROTECTION FENCING

TREE PRESERVATION GUIDELINES

TREE PRESERVATION GUIDELINES

7621 Healdsburg Avenue
Sebastopol, CA

INTRODUCTION

Great care must be exercised when development is proposed in the vicinity of established trees of any type. The trees present at this site require specialized protection techniques during all construction activities to minimize negative impact on their long term health and vigor. The area immediately beneath and around canopy driplines is especially critical, and the specifications that follow are established to protect short and long term tree integrity. The purpose of this specification is therefore to define the procedures that must be followed during any and all phases of development in the immediate vicinity of designated protected trees.

Established, mature trees respond in a number of different ways to the disruption of their natural conditions. Change of grade within the root system area or near the root collar, damage to the bark of the trunk, soil compaction above the root system, root system reduction or damage, or alteration of summer soil moisture levels may individually or collectively cause physiological stress leading to tree decline and death. The individual impacts of these activities may cause trees to immediately exhibit symptoms and begin to decline, but more commonly the decline process takes many years, with symptoms appearing slowly and over a period of time. Trees may not begin to show obvious signs of decline from the negative impacts of construction until many years after construction is completed. It is not appropriate to wait for symptoms to appear, as this may be too late to correct the conditions at fault and to halt decline.

It is therefore critical to the long-term health of all protected trees that a defined protection program be established before beginning any construction activity where protected trees are found. Once incorporated at the design level, it is mandatory that developers, contractors, and construction personnel understand the critical importance of these guidelines, and the potential penalties that will be levied if they are not fully incorporated at every stage of development.

The following specifications are meant to be utilized by project managers and those supervising any construction in the vicinity of protected trees including grading contractors, underground contractors, all equipment operators, construction personnel, and landscape contractors. Questions which arise, or interpretation of specifications as they apply to specific site activities, must be referred to the project arborist as they occur.

Horticultural Associates
P.O. Box 1261
Glen Ellen, CA 95442
707-935-3911

TREE PROTECTION ZONE

1. The canopy dripline is illustrated on the Improvement Plans and represents the area around each tree, or group of trees, which must be protected at all times with tree protection fencing.
2. No encroachment into the dripline is allowed at any time without approval from the project arborist, and unauthorized entry may be subject to civil action and penalties.
3. The dripline will be designated by the project arborist at a location determined to be adequate to ensure long term tree viability and health. This is to occur prior to installation of fencing and in conjunction with the fencing contractor

TREE PROTECTION FENCING

1. Prior to initiating any construction activity on a construction project, including demolition or grading, temporary protective fencing shall be installed at each site tree, or group of trees. Fencing shall be located at the dripline designated by the project arborist and generally illustrated on the Improvement Plans.
2. Fencing shall be minimum 4' height at all locations, and shall form a continuous barrier without entry points around all individual trees, or groups of trees. Barrier type fencing such as *Tensar* plastic fencing is recommended, but any fencing system that adequately prevents entry will be considered for approval by the project arborist. The use of post and cable fencing is not acceptable, however.
3. Fencing shall be installed tightly between steel fence posts (standard quality farm 'T' posts work well) placed no more than 8 feet on center. Fencing shall be attached to each post at 5 locations with plastic electrical ties, metal tie wire, or flip ties. See attached fencing detail.
4. Fencing shall serve as a barrier to prevent encroachment of any type by construction activities, equipment, materials storage, or personnel.
5. All encroachment into the fenced dripline must be approved and supervised by the project arborist. Approved dripline encroachment may require

additional mitigation or protection measures that will be determined by the project arborist at the time of the request.

6. Contractors and subcontractors shall direct all equipment and personnel to remain outside the fenced area at all times until project is complete, and shall instruct personnel and sub-contractors as to the purpose and importance of fencing and preservation.
7. Fencing shall be upright and functional at all times from start to completion of project. Fencing shall remain in place and not be moved or removed until all construction activities at the site are completed.

TREE PRUNING AND TREATMENTS

1. All recommendations for pruning or other treatments must be completed prior to acceptance of the project. It is strongly recommended that pruning be completed prior to the start of grading to facilitate optimum logistics and access.
2. All pruning shall be conducted in conformance with International Society of Arboriculture pruning standards, and all pruning must occur by, or under the direct supervision of, an arborist certified by the International Society of Arboriculture.

GRADING AND TRENCHING

1. Any construction activity that necessitates soil excavation in the vicinity of preserved trees shall be avoided where possible, or be appropriately mitigated under the guidance of the project arborist. All contractors must be aware at all times that specific protection measures are defined, and non conformance may generate stop-work orders.
2. The designated dripline is defined around all site trees to be preserved. Fences protect the designated areas. No grading or trenching is to occur within this defined area unless so designated by the Improvement Plan, and where designated shall occur under the direct supervision of the project arborist.
3. Trenching should be routed around the dripline. Where trenching has been designated within the dripline, utilization of underground technology to bore, tunnel or excavate with high-pressure air or water will be specified. Hand digging will be generally discouraged unless site conditions restrict the use of alternate technology.

4. All roots greater than one inch in diameter shall be cleanly hand-cut as they are encountered in any trench or during any grading activity. The tearing of roots by equipment shall not be allowed. Mitigation treatment of pruned roots shall be specified by the project arborist as determined by the degree of root pruning, location of root pruning, and potential exposure to desiccation. No pruning paints or sealants shall be used on cut roots.
5. Where significant roots are encountered mitigation measures such as supplemental irrigation and /or organic mulches may be specified by the project arborist to offset the reduction of root system capacity.
6. Retaining walls are effective at holding grade changes outside the area of the dripline and are recommended where necessary. Retaining walls shall be constructed in post and beam or drilled pier construction styles where they are necessary near or within a dripline.
7. Grade changes outside the dripline, or those necessary in conjunction with retaining walls, shall be designed so that drainage water of any type or source is not diverted toward or around the root crown in any manner. Grade shall drain away from root crown at a minimum of 2%. If grading toward the root collar is unavoidable, appropriate surface and/or subsurface drain facilities shall be installed so that water is effectively diverted away from root collar area.
8. Grade reduction within the designated dripline shall be generally discouraged, and where approved, shall be conducted only after careful consideration and coordination with the project arborist.
9. Foundations of all types within the dripline shall be constructed using design techniques that eliminate the need for trenching into natural grade. These techniques might include drilled piers, grade beams, bridges, or cantilevered structures. Building footprints should generally be outside the dripline whenever possible.

DRAINAGE

The location and density of native trees may be directly associated with the presence of naturally occurring water, especially ephemeral waterways. Project design, especially drainage components, should take into consideration that these trees may begin a slow decline if this naturally present association with water is changed or eliminated.

TREE DAMAGE

1. Any form of tree damage which occurs during the demolition, grading, or construction process shall be evaluated by the project arborist. Specific mitigation measures will be developed to compensate for or correct the damage. Fines and penalties may also be levied.

2. Measures may include, but are not limited to, the following:

- pruning to remove damaged limbs or wood
- bark scoring to remove damaged bark and promote callous formation
- alleviation of compaction by lightly scarifying the soil surface
- installation of a specific mulching material
- supplemental irrigation during the growing season for up to 5 years
- treatment with specific amendments intended to promote health, vigor, or root growth
- vertical mulching or soil fracturing to promote root growth
- periodic post-construction monitoring at the developer's expense
- tree replacement, or payment of the established appraised value, if the damage is so severe that long term survival is not expected.

3. Any tree that is significantly damaged and whose survivability is threatened, due to negligence by any contractor, shall be appraised using the Trunk Formula Method provided in the 9th Edition of the Guide For Plant Appraisal. This appraisal value will be the basis for any fines levied on the offending contractor.

MULCHING

1. Trees will benefit from the application of a 4 inch layer of chipped bark mulch over the soil surface within the Tree Protection Zone. Ideal mulch material is a chipped bark containing a wide range of particle sizes. Bark mulches composed of shredded redwood, bark screened for uniformity of size, dyed bark, or chipped lumber will not function as beneficially. All trees that are expected to be

impacted in any way by project activities shall have mulch placed prior to the installation of protection fencing.

2. Mulch should be generated from existing site trees that are removed or pruned as part of the project. Much brought onto the site from an outside source must be from trees that are verified to be free of the Sudden Oak Death pathogen *Phytophthora ramorum*.

ISA PRUNING STANDARDS

ISA

PRUNING STANDARDS

Purpose:

Trees and other woody plants respond in specific and predictable ways to pruning and other maintenance practices. Careful study of these responses has led to pruning practices which best preserve and enhance the beauty, structural integrity, and functional value of trees.

In an effort to promote practices which encourage the preservation of tree structure and health, the W.C. ISA Certification Committee has established the following Standards of Pruning for Certified Arborists. The Standards are presented as working guidelines, recognizing that trees are individually unique in form and structure, and that their pruning needs may not always fit strict rules. The Certified Arborist must take responsibility for special pruning practices that vary greatly from these Standards.

I. Pruning Techniques

- A. A thinning cut removes a branch at its point of attachment or shortens it to a lateral large enough to assume the terminal role. Thinning opens up a tree, reduces weight on heavy limbs, can reduce a tree's height, distributes ensuing invigoration throughout a tree and helps retain the tree's natural shape. Thinning cuts are therefore preferred in tree pruning.

When shortening a branch or leader, the lateral to which it is cut should be at least one-half the diameter of the cut being made. Removal of a branch or leader back to a sufficiently large lateral is often called "drop crotching."

- B. A heading cut removes a branch to a stub, a bud or a lateral branch not large enough to assume the terminal role. Heading cuts should seldom be used because vigorous, weakly attached upright sprouts are forced just below such cuts, and the tree's natural form is altered. In some situations, branch stubs die or produce only weak sprouts.

- C. When removing a live branch, pruning cuts should be made in branch tissue just outside the branch bark ridge and collar, which are trunk tissue. *(Figure 1)* If no collar is visible, the angle of the cut should approximate the angle formed by the branch bark ridge and the trunk. *(Figure 2)*
- D. When removing a dead branch, the final cut should be made outside the collar of live callus tissue. If the collar has grown out along the branch stub, only the dead stub should be removed, the live collar should remain intact, and uninjured. *(Figure 3)*
- E. When reducing the length of a branch or the height of a leader, the final cut should be made just beyond (without violating) the branch bark ridge of the branch being cut to. The cut should approximately bisect the angle formed by the branch bark ridge and an imaginary line perpendicular to the trunk or branch cut. *(Figure 4)*
- F. A goal of structural pruning is to maintain the size of lateral branches to less than three-fourths the diameter of the parent branch or trunk. If the branch is codominant or close to the size of the parent branch, thin the branch's foliage by 15% to 25%, particularly near the terminal. Thin the parent branch less, if at all. This will allow the parent branch to grow at a faster rate, will reduce the weight of the lateral branch, slow its total growth, and develop a stronger branch attachment. If this does not appear appropriate, the branch should be completely removed or shortened to a large lateral. *(Figure 5)*
- G. On large-growing trees, except whorl-branching conifers, branches that are more than one-third the diameter of the trunk should be spaced along the trunk at least 18 inches apart, on center. If this is not possible because of the present size of the tree, such branches should have their foliage thinned 15% to 25%, particularly near their terminals. *(Figure 6)*
- H. Pruning cuts should be clean and smooth with the bark at the edge of the cut firmly attached to the wood.
- I. Large or heavy branches that cannot be thrown clear, should be lowered on ropes to prevent injury to the tree or other property.
- J. Wound dressings and tree paints have not been shown to be effective in preventing or reducing decay. They are therefore not recommended for routine use when pruning.

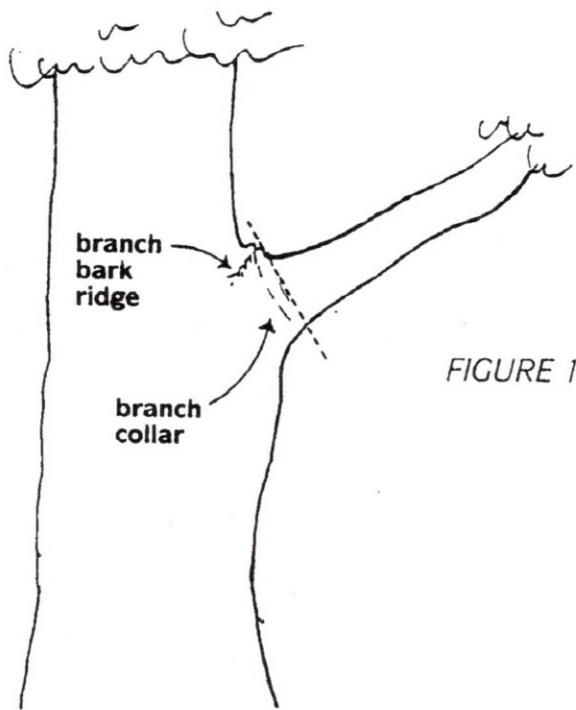


FIGURE 1. When removing a branch, the final cut should be just outside the branch bark ridge and collar.

FIGURE 2. In removing a limb without a branch collar, the angle of the final cut to the branch bark ridge should approximate the angle the branch bark ridge forms with the limb. Angle AB should equal Angle BC.

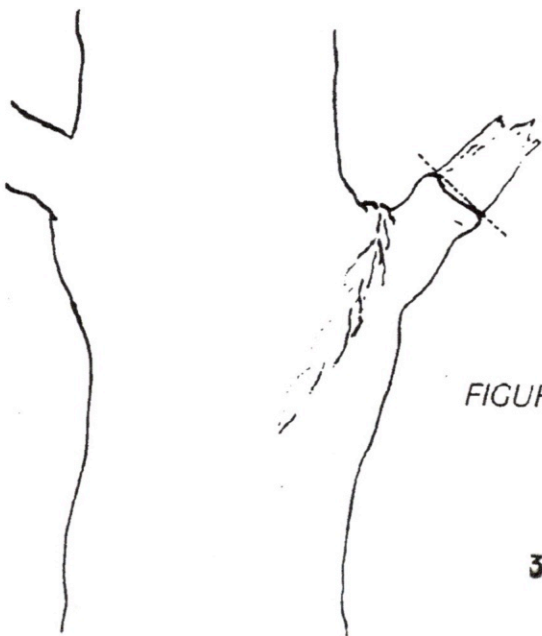
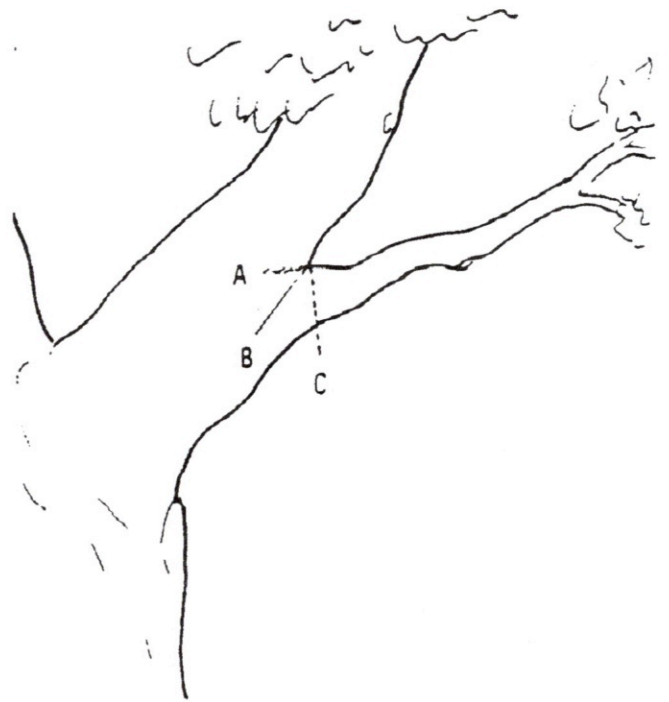


FIGURE 3. When removing a dead branch, cut outside the callus tissue that has begun to form around the branch.

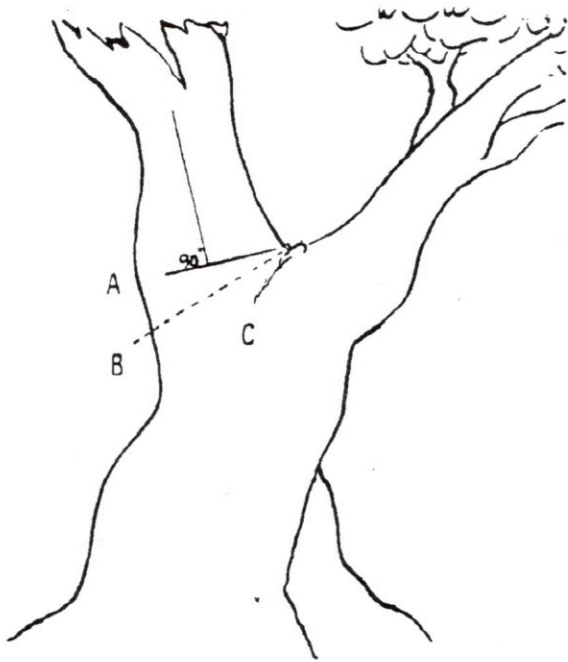
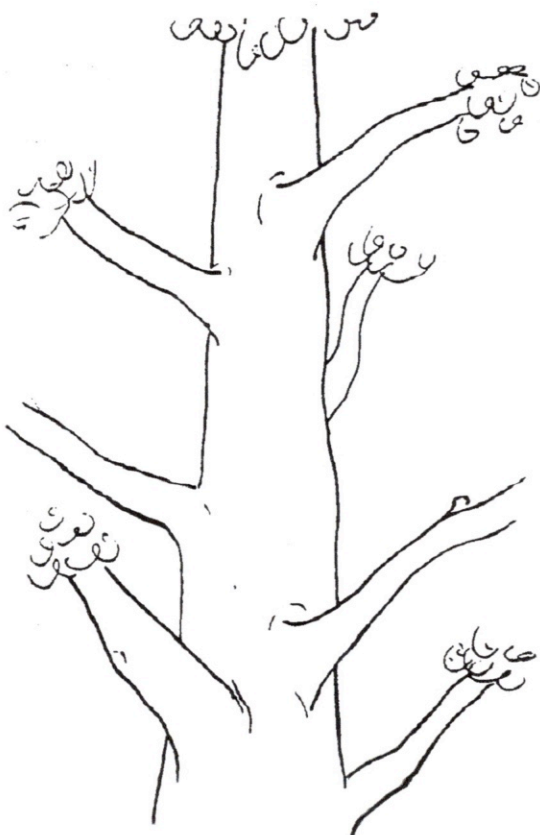


FIGURE 4. In removing the end of a limb to a large lateral branch, the final cut is made along a line that bisects the angle between the branch bark ridge and a line perpendicular to the limb being removed. Angle AB is equal to Angle BC.

FIGURE 5. A tree with limbs tending to be equal-sized, or codominant. Limbs marked B are greater than $\frac{3}{4}$ the size of the parent limb A. Thin the foliage of branch B more than branch A to slow its growth and develop a stronger branch attachment.



FIGURE 6. Major branches should be well spaced both along and around the stem.



II. Types of Pruning — Mature Trees

A. CROWN CLEANING

Crown cleaning or cleaning out is the removal of dead, dying, diseased, crowded, weakly attached, and low-vigor branches and watersprouts from a tree crown.

B. CROWN THINNING

Crown thinning includes crown cleaning and the selective removal of branches to increase light penetration and air movement into the crown. Increased light and air stimulates and maintains interior foliage, which in turn improves branch taper and strength. Thinning reduces the wind-sail effect of the crown and the weight of heavy limbs. Thinning the crown can emphasize the structural beauty of trunk and branches as well as improve the growth of plants beneath the tree by increasing light penetration. When thinning the crown of mature trees, seldom should more than one-third of the live foliage be removed.

At least one-half of the foliage should be on branches that arise in the lower two-thirds of the trees. Likewise, when thinning laterals from a limb, an effort should be made to retain inner lateral branches and leave the same distribution of foliage along the branch. Trees and branches so pruned will have stress more evenly distributed throughout the tree or along a branch.

An effect known as "lion's-tailing" results from pruning out the inside lateral branches. Lion's-tailing, by removing all the inner foliage, displaces the weight to the ends of the branches and may result in sunburned branches, watersprouts, weakened branch structure and limb breakage.

C. CROWN REDUCTION

Crown reduction is used to reduce the height and/or spread of a tree. Thinning cuts are most effective in maintaining the structural integrity and natural form of a tree and in delaying the time when it will need to be pruned again. The lateral to which a branch or trunk is cut should be at least one-half the diameter of the cut being made.

D. CROWN RESTORATION

Crown restoration can improve the structure and appearance of trees that have been topped or severely pruned using heading cuts. One to three sprouts on main branch stubs should be selected to reform a more natural appearing crown. Selected vigorous sprouts may need to be thinned to a lateral, or even headed, to control length growth in order to ensure adequate attachment for the size of the sprout. Restoration may require several prunings over a number of years.

II. Types of Pruning — Mature Trees (*continued*)

E. CROWN RAISING

Crown raising removes the lower branches of a tree in order to provide clearance for buildings, vehicles, pedestrians, and vistas. It is important that a tree have at least one-half of its foliage on branches that originate in the lower two-thirds of its crown to ensure a well-formed, tapered structure and to uniformly distribute stress within a tree.

When pruning for view, it is preferable to develop "windows" through the foliage of the tree, rather than to severely raise or reduce the crown.

III. Size of Pruning Cuts

Each of the Pruning Techniques (Section I) and Types of Pruning (Section II) can be done to different levels of detail or refinement. The removal of many small branches rather than a few large branches will require more time, but will produce a less-pruned appearance, will force fewer watersprouts and will help to maintain the vitality and structure of the tree. Designating the maximum size (base diameter) that any occasional undesirable branch may be left within the tree crown, such as ½", 1" or 2" branch diameter, will establish the degree of pruning desired.

IV. Climbing Techniques

- A. Climbing and pruning practices should not injure the tree except for the pruning cuts.
- B. Climbing spurs or gaffs should not be used when pruning a tree, unless the branches are more than throw-line distance apart. In such cases, the spurs should be removed once the climber is tied in.
- C. Spurs may be used to reach an injured climber and when removing a tree.
- D. Rope injury to thin barked trees from loading out heavy limbs should be avoided by installing a block in the tree to carry the load. This technique may also be used to reduce injury to a crotch from the climber's line.

Client: City of Sebastopol Planning Department
Project Location: 7621 Healdsburg Ave, Sebastopol, CA
Inspection Date: November 20, 2024
Arborist: Ben Anderson



URBAN FORESTRY ASSOCIATES, INC.

Assignment

John Jay and Nzuzi Mahungu asked me to review the documents related to tree preservation and removal for the Pacific Knolls development and to provide a peer review of the arborist report.

Observations

I reviewed the arborist report by Horticultural Associates dated July 17, 2023, the overall preliminary landscape plan dated November 18, 2024, the tentative vesting map dated October 2024, and an outdated site plan dated June 2023. I visited the site on November 20, 2024.

- The arborist report included all relevant trees on the subject and adjacent properties, and they were accurately mapped.
- The arborist report appears to have reviewed an outdated version of the plans.
- Tree 239 is dead. The arborist report recommends removal but it is not shown as such on the map.
- Tree 245 looks as though it will require extensive pruning to accommodate the new building (to be confirmed with story poles). This is either co-owned or owned by the neighbor.
- Tree 246 will require very large cuts outside industry standards to accommodate the new building (Figure 1). This will leave very large wounds on the trunk that will introduce decay and could significantly shorten the tree's life. This is a co-owned tree.
- Trees 253, 254, 256, 257, & 258 lean towards the proposed buildings and will require extensive pruning to accommodate the new buildings, potentially removing all the living canopy from some of the trees.
- Tree 265 is identified as to be preserved in the arborist report but marked as a removal on several plan sheets.
- Tree 276 is gone (reportedly from a failure and the removal was granted an emergency permit).
- Multiple trees will have canopies that extend over the roofs of the proposed homes.

Summary:

6 fruit tree removals – none over 20 inches in diameter (221, 247, 266, 272, 273, 277)

5 oak removals less than 10 inches in diameter (222, 234, 267, 269, 279)

20 living oak removals 10 inches or greater (223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 235, 236, 248, 249, 265, 268, 271, 274, 275)

1 dead tree removal (239)

32 total removals

59 trees in inventory

Discussion

Per 8.12.050 of the Sebastopol Municipal Code:

The following condition shall be noted on any TPP, on any map sheet submitted with improvement plans, and on any building permit site plan which may be used in the performance of any site work including demolition, grading, trenching, compaction, or clearance within a tree protection zone of any subject tree to be retained on the project site, as well as for any tree on an adjacent site. It shall be the responsibility of the developer to ensure that it is met by any individuals involved in the construction of a project:

A Contractor is responsible for compliance with Tree Protection Plan (Sheet x). Failure to fully comply with the restrictions, conditions, and mitigation measures of the Tree Protection Plan, as reflected on (Sheet x), will result in the issuance of a stop-work order, and may also result in the imposition of fines, penalties, or both.

The code also requires a performance bond for the protected trees. This is to be equal to either \$1,500 per tree or the appraised value of each tree, whichever is greater.

Per 8.12.060 of the SMC:

A. When a Tree Removal Permit Is Required.

2. Multifamily Residential, Commercial, or Industrial. On properties which are currently utilized for multifamily residential, commercial, or industrial uses, no person shall allow or cause the removal of a protected native tree (minimum 10 inches d.b.h.), or any other tree which has a minimum d.b.h. of 20 inches or more if the tree has a single trunk, or which has at least one trunk with a minimum d.b.h. of 20 inches if the tree has two or more trunks without first obtaining a TRP, unless otherwise exempted herein.

B. Exemptions. A tree removal permit is not required for the following:

1. To remove a tree that, based on an analysis by the City Arborist, Planning staff, or Building Official, is dead or extremely diseased, or is in a hazardous condition which presents an immediate danger to public safety or property.

Conclusions

Of the 31 trees to be removed, 20 require a permit. This number may increase due to pruning for building clearance and clearance requirements from the Fire Department or insurance companies. It may also increase if any of the five smaller trees grew to 10 inches or greater since the initial arborist inspection.

- The arborist should update their report to reflect the current plan set. The diameters of trees close to 10 inches should also be updated to verify that they still do not qualify as protected trees.
- The arborist should be made aware of what clearance the Fire Department will require over the roofs and update the assessment accordingly.
- The tree protection plan sheet must be updated to the current plan and show details and locations for the tree protection measures recommended in the arborist report (i.e., fencing, soil armoring, etc.).
- The tree protection plan sheet should be updated to show the tree numbers relative to the arborist inventory.
- The tree protection plan sheet should be updated to show clear Xs on trees to be removed, including 239.
- Tree 265 should be marked as a removal in the arborist report or not marked as a removal on the plan sheets. I considered it a removal for this review.
- Tree 276 was removed and should be taken out of the inventory and removed from the plan set on all sheets.
- All sheets should be consistent with the Arborist Report. All should be updated to reflect the true number of protected tree removals.
- The language from 8.12.050 should be added to all applicable plan sheets.
- If the performance bond is not waived for the project, I recommend using the minimum of \$1,500 per tree, as this will likely amount to more than the total for any few trees that may be damaged.
- The neighboring property owner that owns/co-owns the trees that will need to be pruned should be consulted about the impact on their trees.

SCOPE OF WORK AND LIMITATIONS

Urban Forestry Associates has no personal or monetary interest in the outcome of this investigation. All observations regarding trees in this report were made by UFA independently, based on our education and experience. All determinations of the health condition, structural condition, or hazard potential of a tree or trees at issue are based on our best professional judgment. The health and hazard assessments in this report are limited by the visual nature of the assessment. Arborists cannot detect every condition that could lead to a tree's structural failure. Since trees are living organisms, conditions are often hidden within the tree and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances or for a specific period of time. Likewise, remedial treatments cannot be guaranteed. Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk, and the only way to eliminate all risks associated with trees is to eliminate all trees.



Benjamin Anderson, Urban Forester
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Figure 1. Tree 246. The large lower limb is in the space to be occupied by the new building and will need to be removed. Higher limbs will likely need to be removed as well. This is a co-owned tree and the other owner may not permit these cuts and should be consulted.

EXHIBIT A
FINAL FINDINGS OF APPROVAL
Design Review and Tree removal
7621 Healdsburg Ave
004-291-019, **File# 2023-078**

In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
 - a. *As conditioned this project will meet this requirement, in that the project incorporates a apartment and townhome style design within a commercial and residential district and is comparable to the housing development in the surrounding area.*
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way;
 - a. *As conditioned this project will meet this requirement with the proposed landscaping plan and new tree plantings.*
3. It would not impair the desirability of investment or occupation in the neighborhood;
 - a. *As conditioned this project will meet this requirement as it will increase the desirability of this neighborhood as it proposes to develop a vacant lot to both apartment and townhome housing.*
4. The design is internally consistent and harmonious;
 - a. *As conditioned this project will meet this requirement.*
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter.
 - a. *As conditioned this project will meet this requirement, in that it meets Design Guideline B.1. as the buildings are related to the street and proper setbacks are provided to reinforce existing street frontages. Design Guideline D.1 as each unit provides a private open space with the inclusion of private back yards as well as front porches.*

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

Tree Removal Criteria. An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
 - a. *Not applicable*

2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.
a. *Not applicable*

3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
a. *Not applicable.*

4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
a. *The removal of the on site trees are needed to facilitate the construction of the project and will be mitigated by the replanting of trees listed in the landscape plan.*

5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.
a. *Not applicable.*

EXHIBIT B
RECOMMENDED CONDITIONS OF APPROVAL

Design Review and Tree removal
7621 Healdsburg Ave
004-291-019, **File# 2023-078**

1. Plans and elevations shall be in substantial conformance with plans prepared by Kathy Austin and LACO Associates and stamped received on May 8th, 2024, as revised on August 13th, 2024, and on file at the City of Sebastopol Planning Department, except as modified herein:
2. The Use shall be in substantial conformance with the proposed operations as described in the application materials prepared by Kathy Austin, and stamped received on May 8th, 2024, as revised on August 13th, 2024, and on file at the City of Sebastopol Planning Department, except as modified herein.
3. The project's open spaces shall be maintained by the property owner, not by the City.
4. The project site includes protected trees intended to remain. Protective measures are required for these trees.
5. Site landscaping shall be generally consistent with the Landscape Plan included as part of the plans stamped received on May 8th, 2024, as revised on August 13th, 2024, on file with the Sebastopol Planning Department. The final landscape plan shall be stamped by a licensed landscape architect and filed with the Planning Department prior to occupancy. Plans for any irrigation of the site shall be incorporated into the landscape plan. All planting associated with a building, as shown on the approved plan, shall be installed prior to occupancy of that building.
6. The project shall comply with the Green Building regulations contained in the Sebastopol Municipal Code that are in effect at the time the preliminary application was submitted.
7. A Tree Protection Plan is required and shall conform to the requirements of SMC 8.12.050 and be added to all applicable plan sheets.
8. A fee of \$75.00 per required replacement tree shall be paid per required tree removed at the time of submittal of the tree removal application or a minimum of two 15-gallon trees shall be planted, and the fee refunded. The final number of replacement trees, and the tree species, shall be forty (40) trees, or as otherwise determined by the Tree Board or the City Arborist, as applicable. In any case, the mitigation (number and size of replacement trees) must be related to the significance (size, age, etc.) of the trees that are proposed for removal. On-site replacement trees shall be planted prior to final inspection unless otherwise approved by Planning Staff.
9. As part of grading permit approval, the civil plan sheet of existing conditions / demolition shall accurately reflect the tree tags. If any tags go missing, tags shall be replaced.

10. The Developer shall provide an updated arborist report to reflect the current plan set. Tree diameters close to 10 inches should be updated to verify that they still do not qualify as protected trees.
11. The Developer shall provide a tree protection plan sheet that is updated to the current plan and show details and locations for tree protection measures recommended in the arborist report prior to building permit issuance.
12. The Developer shall provide an updated tree protection plan sheet to show clear Xs on trees to be removed, including tree #239.
13. The Developer shall include language from Section 8.12.050 on all applicable plan sheets