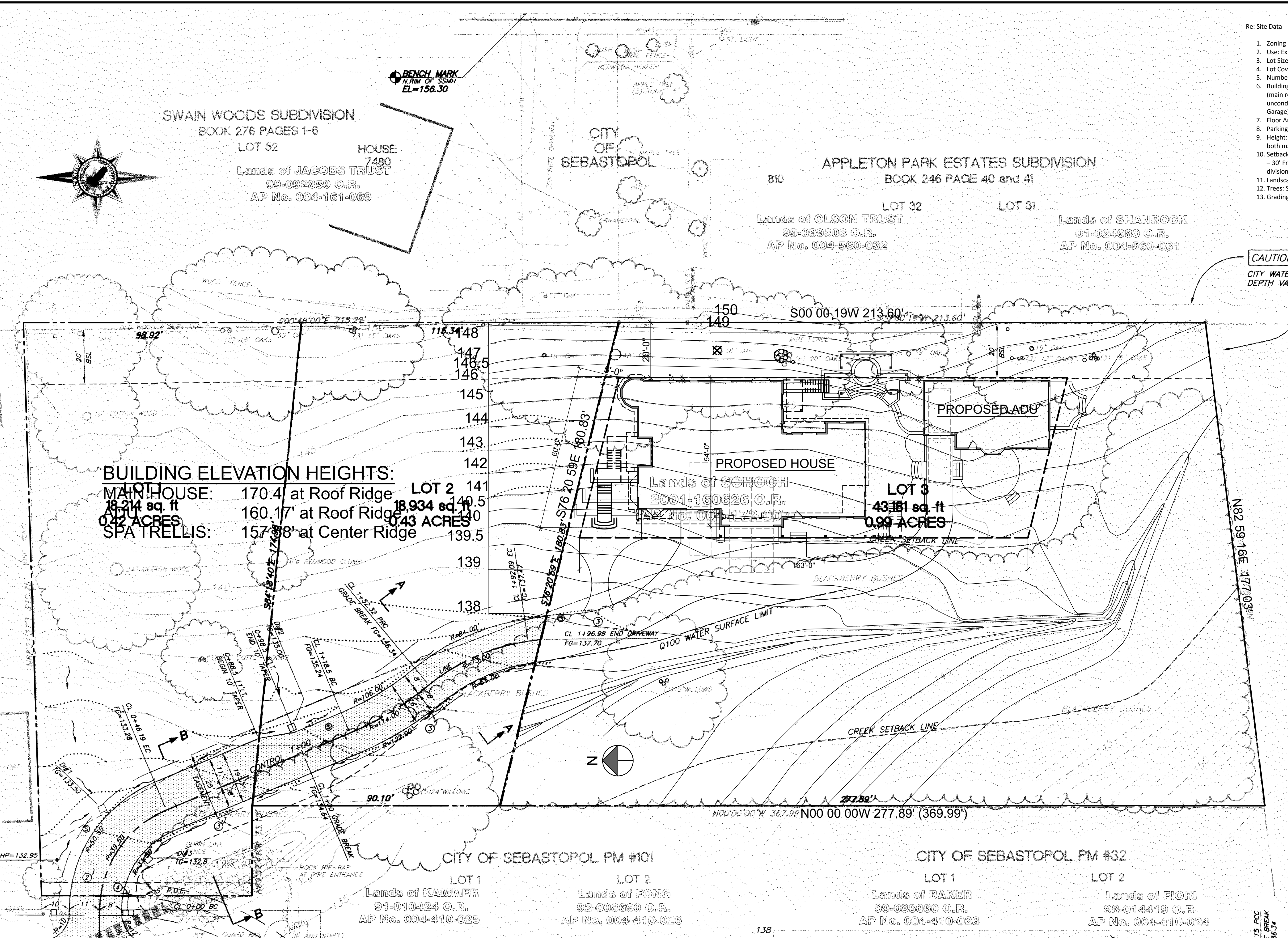
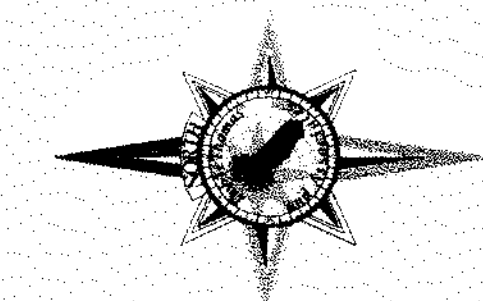


- Re: Site Data - Design Review
1. Zoning District: R-3
 2. Use: Existing - Empty undeveloped lot; Proposed - Residential Home and ADU
 3. Lot Size: .99 Acres or 43,181 square-feet
 4. Lot Coverage: 5.6% or 6,542 square-feet
 5. Number of units: 2, one single-family dwelling and one detached ADU
 6. Building Floor Area: Existing - 0% & 0 square-feet; Proposed: 6,613 square-feet total (main residence) - 2,990 SF (main floor), 3,623 SF (lower floor including 611 SF unconditioned space and 1,481 SF garage/shop/storage); 1,107 square-feet total (ADU + Garage) - 801 SF conditioned space and 306 SF garage
 7. Floor Area Ratio: N/A - Residential Project
 8. Parking Spaces: 3 covered main residence, 1 covered ADU
 9. Height: 27'-8" main residence, 16'-1" ADU - closest height from grade to ridge for both main residence and ADU.
 10. Setbacks: R-3; 30' Front, 20' Secondary Front Yard, 10' Side, 20' min./30' max. Rear; ADU - 30' Front, 20' Second Front Yard, 3' Side, 20' min./30' max. Rear. See attached subdivision map for actual limits for this lot.
 11. Landscaping: See attached, performance based approached used.
 12. Trees: See attached, removal of one existing dying oak tree.
 13. Grading: Cut - 660 yds Fill - 300 yds Import - 0 yds Off-Haul - 360 yds

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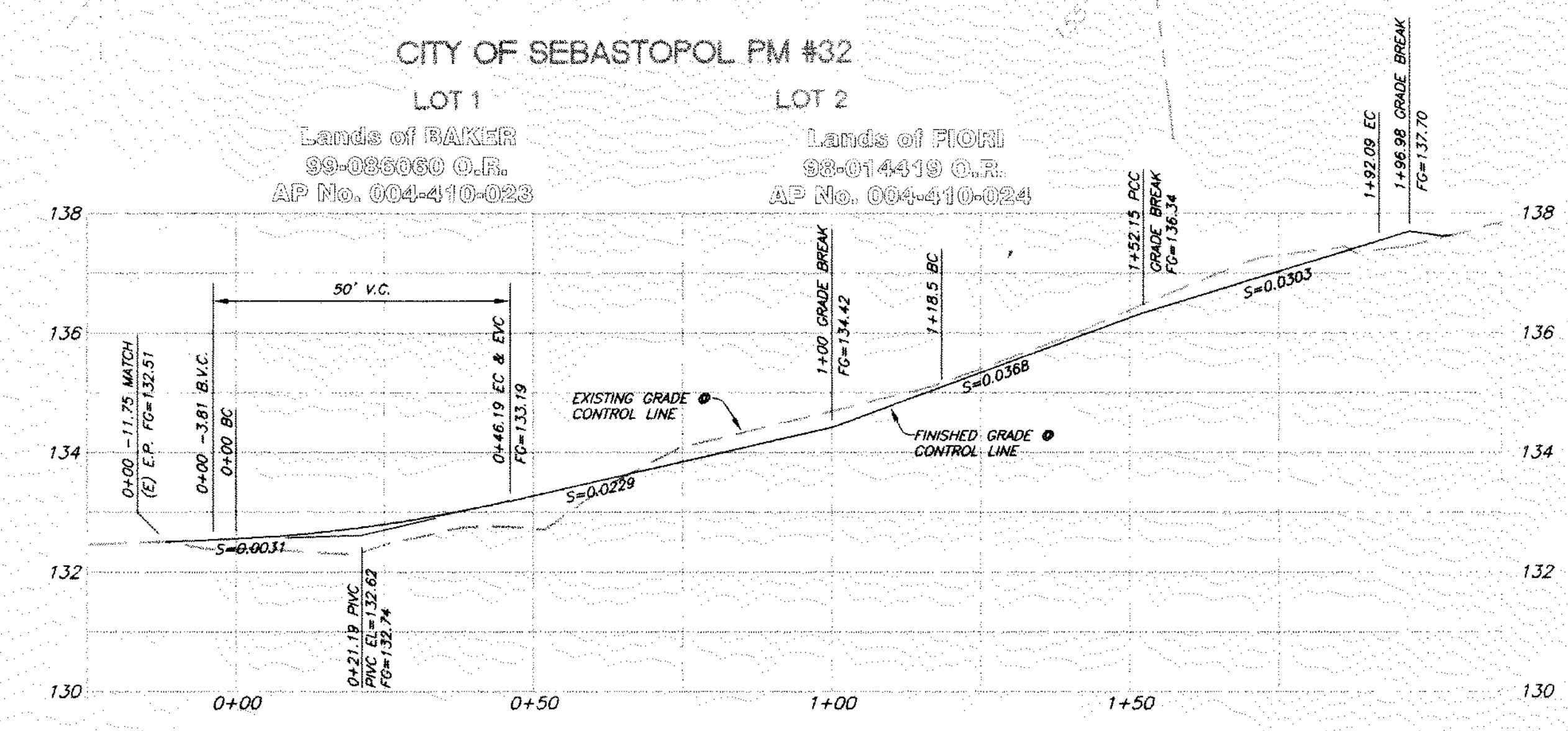
BUILDING ELEVATION HEIGHTS:

MAIN HOUSE:	170.4'	at Roof Ridge
18,214 sq. ft	160.17'	at Roof Ridge
0.42 ACRES	157.78'	at Center Ridge
SPA TRELLIS:		

PLAN NOTES:

1. MATCH DRIVEWAY PAVING TO (E)E.P. - FIRST STREET
 2. REMOVE GATE AND FENCE
 3. REMOVE BLACKBERRY BUSHES EAST OF CREEK FROM TOP OF BANK THROUGH DRIVEWAY EASEMENT - LOT #1 & LOT #2
 4. INSTALL 12"x18" BLACK LETTERS ON WHITE BACKGROUND SIGN "NO PARKING FIRE LANE"
- PAVED DRIVEWAY 2" A.C. OVER 6" CL# AB

NOTE: Contractor is responsible for compliance with the approved Tree Protection Plan (Sheet 4). Failure to comply fully with all restrictions, conditions, or mitigation measures in the Tree Protection Plan, as reflected on Sheet 4, may result in the issuance of a stop-work order, or the imposition of fines and penalties, or both.



DRIVEWAY PROFILE @ CONTROL LINE (CL)

H: 1"=20'
V: 1"=2'

LOT PLAN

1"=20'-0"

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SCHOCH RESIDENCE
New Residence and ADU



DATE: 5-13-21

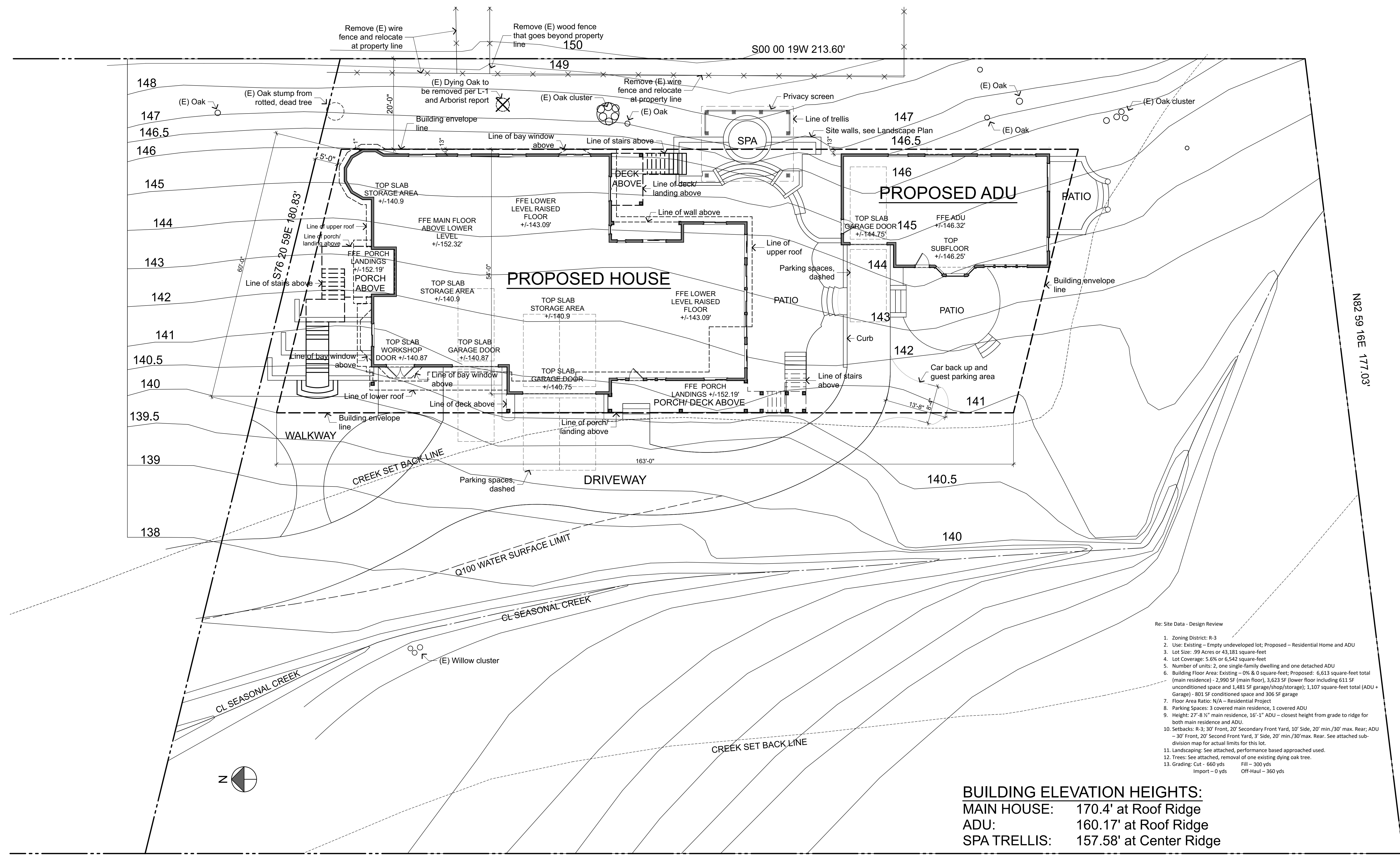
Sheet
A-2

Scale

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SCHOCH RESIDENCE
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- Re: Site Data - Design Review
1. Zoning District: R-3
 2. Use: Existing - Empty undeveloped lot; Proposed - Residential Home and ADU
 3. Lot Size: .99 Acres or 43,181 square-feet
 4. Lot Coverage: 5.5% or 6,542 square-feet
 5. Number of units: 2, one single-family dwelling and one detached ADU
 6. Building Floor Area: Existing - 0% & 0 square-feet; Proposed: 6,613 square-feet total (main residence) - 2,990 SF (main floor), 3,623 SF (lower floor including 611 SF unconditioned space and 1,481 SF garage/shop/storage); 1,107 square-feet total (ADU + Garage) - 801 SF - conditioned space and 306 SF garage
 7. Floor Area Ratio: N/A - Residential Project
 8. Parking Spaces: 3 covered main residence, 1 covered ADU
 9. Height: 27'-8 1/2" main residence, 16'-1" ADU - closest height from grade to ridge for both main residence and ADU.
 10. Setbacks: R-3: 30' Front, 20' Secondary Front Yard, 10' Side, 20' min./30' max. Rear; ADU - 30' Front, 20' Second Front Yard, 3' Side, 20' min./30' max. Rear. See attached subdivision map for actual limits for this lot.
 11. Landscaping: See attached, performance based approached used.
 12. Trees: See attached, removal of one existing dying oak tree.
 13. Grading: Cut - 660 yds Fill - 300 yds
 Import - 0 yds Off-Haul - 360 yds

BUILDING ELEVATION HEIGHTS:
 MAIN HOUSE: 170.4' at Roof Ridge
 ADU: 160.17' at Roof Ridge
 SPA TRELLIS: 157.58' at Center Ridge

N00 00 00W 277.89' (369.99')

NOTE: No structures on site. No structure demolition needed. Only item to be removed is one dying oak, as noted on Site Plan and L-1 and Arborist report.

NOTE: See Civil Plans for all utilities and drainage
NOTE: See L-1 Landscape Layout Plan for all paving surfaces, heights of site/landscape features & all trees of note

SITE PLAN

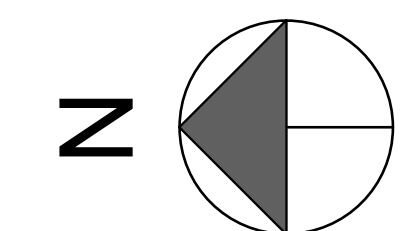
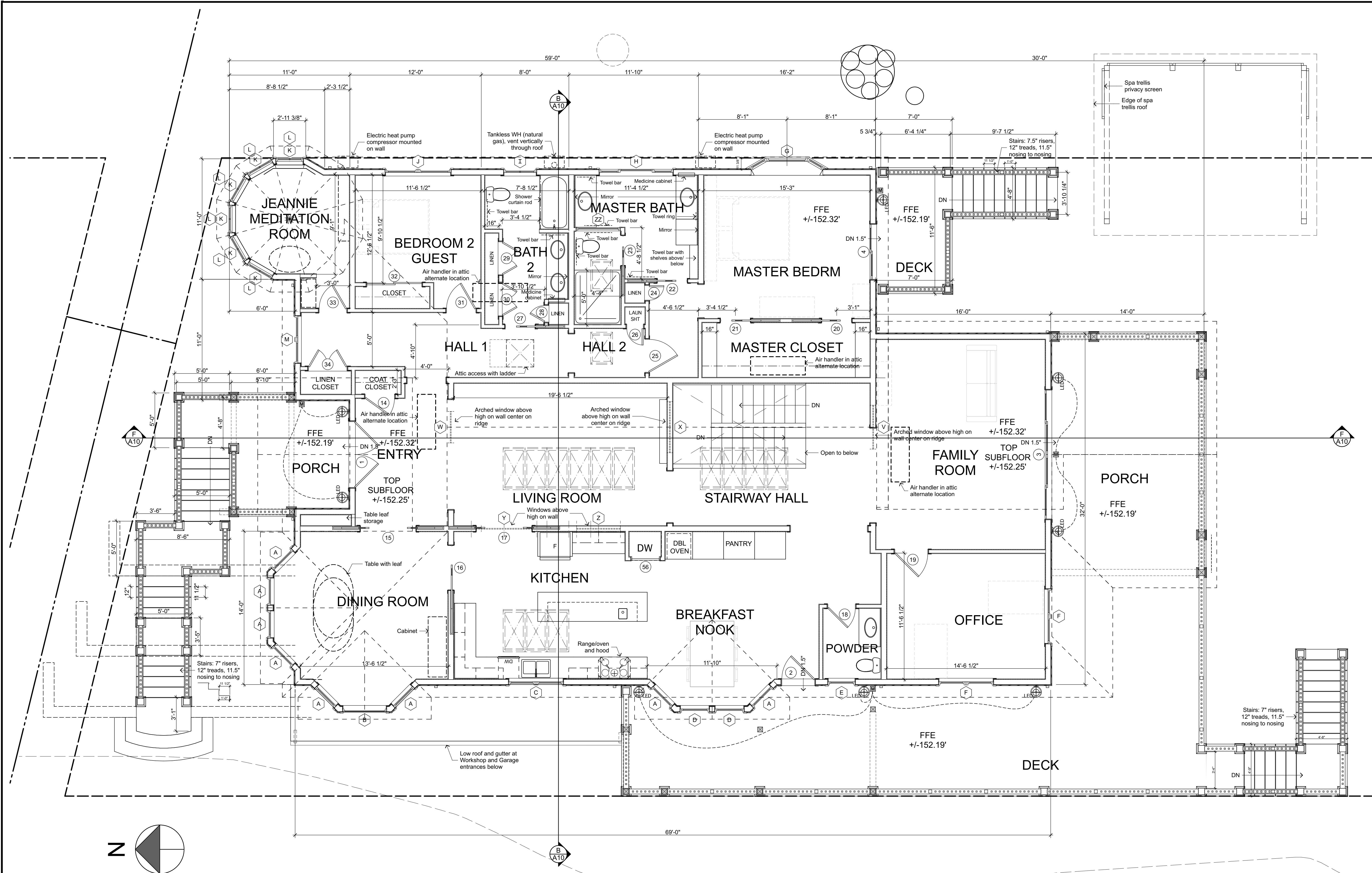
1"=10'-0"

DATE: 5-13-21

Sheet
A-3

Scale





MAIN LEVEL FLOOR PLAN - MAIN HOUSE

1/4"=1'-0"

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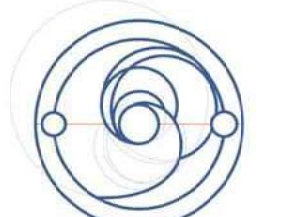
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Sheet
A-4

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New Residence and ADU

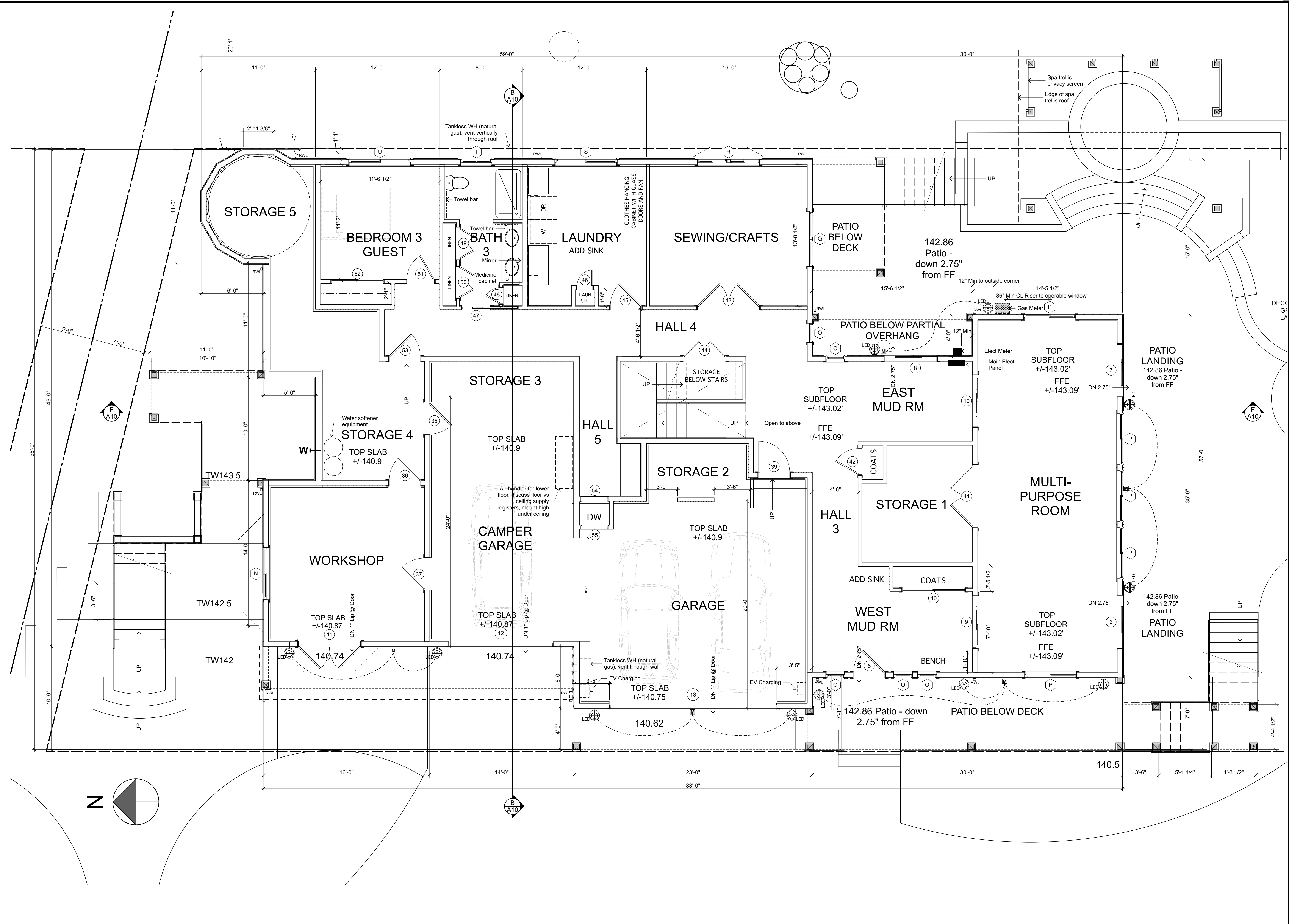
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DATE: 5-13-21

Sheet
A-5

Scale



LOWER LEVEL FLOOR PLAN - MAIN HOUSE

1/4"=1'-0"

WINDOW SYMBOL	ROOM NAME	SIZE	CN	MFR	MATERIAL	OPERATION	GLASS	TEMPERED	WALL	HEAD HEIGHT	REMARKS
A	DINING & KITCHEN	2660	ELDH3072	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	8'-4" ABV SUBFLOOR	NORTH & WEST ELEVATION
B	DINING ROOM	4060	ELDHP4872	MARVIN 'ELEVATE'	FIBERGLASS	PICTURE	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION
C	KITCHEN	5048	ELDH3048 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION, MULLED ASSEMBLY
D	KITCHEN	2860	ELDH3272	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION
E	POWDER	2630	ELDH3036	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	TEXTURED DUAL PANE	EXTERIOR PANE	2X6	8'-4" ABV SUBFLOOR	WEST ELEVATION
F	OFFICE	5048	ELDH3048 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-6" ABV SUBFLOOR	WEST & SOUTH ELEVATION, MULLED ASSEMBLY
G	BEDROOM 1 - MASTER	49537	CN22-36-22 - HT88 - 11 3/8" DEPTH	MARVIN 'ELEVATE'	FIBERGLASS	30 DEGREE DH BAY	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-4 3/4" ABV SUBFLOOR	EAST ELEVATION, BAY UNIT W 11 3/8" Projection
H	BATH 1 - MASTER	6940	ELDH2248-ELDHP3848-ELDHP2248	MARVIN 'ELEVATE'	FIBERGLASS	DH-PICTURE-DH	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-4" ABV SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY
I	BATH 2	3030	ELDH3636	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	TEXTURED DUAL PANE	EXTERIOR & EXTERIOR PANE	2X6	7'-4" ABV SUBFLOOR	EAST ELEVATION
J	BEDROOM 2	6050	ELDH3660 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-4" ABV SUBFLOOR	EAST ELEVATION
K	JEANNIE MEDITATION	2614	ELDHTR3016	MARVIN 'ELEVATE'	FIBERGLASS	DH TRANSOM	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	8'-6" ABV SUBFLOOR	NORTH & EAST ELEVATION
L	JEANNIE MEDITATION	2644	ELDH3052	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	6'-8" ABV SUBFLOOR	NORTH & EAST ELEVATION
M	HALL 1	4440	ELDH2648 2W	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-2" ABV SUBFLOOR	NORTH ELEVATION, MULLED ASSEMBLY
N	WORKSHOP	5030	ELGL6036	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-0" ABV SLAB	NORTH ELEVATION
O	WEST MUDROOM	11044	ELDH2252	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	INTERIOR & EXTERIOR PANE	2X6	6'-10 1/4" ABV SUBFLOOR	WEST ELEVATION
P	EAST MUDROOM	11044	ELDH2252	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	6'-10 1/4" ABV SUBFLOOR	EAST ELEVATION
Q	MULTI-PURPOSE ROOM	5050	ELGL6060	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	INTERIOR & EXTERIOR PANE	2X6	6'-11 1/2" ABV SUBFLOOR	EAST, WEST & SOUTH ELEVATION
R	SEWING/CRAFTS ROOM	5440	ELDH3248 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-2" ABV SUBFLOOR	SOUTH ELEVATION, MULLED ASSEMBLY
S	SEWING/CRAFTS ROOM	6030	ELGL3636 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR GLIDER	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY
T	LAUNDRY	6030	ELGL7236	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
U	BEDROOM 3	6040	ELGL7248	MARVIN 'ELEVATE'	FIBERGLASS	GLIDER	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	7'-2" ABV SUBFLOOR	EAST ELEVATION
V	STAIRWAY HALL	4020	ELDGR25 2W DIRECT GLAZE	MARVIN 'ELEVATE'	FIBERGLASS	HALF ROUND	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	****	SOUTH ELEVATION BELOW RIDGE
W	LIVING HALL	21015	ELDGR24 1W DIRECT GLAZE	MARVIN 'ELEVATE'	FIBERGLASS	HALF ROUND	CLEAR, DUAL PANE	EXTERIOR PANE	2X6	****	NORTH ELEVATION BELOW RIDGE
X	LIVING/STAIRWAY HALL	4824	ELDGR29 2W DIRECT GLAZE	MARVIN 'ELEVATE'	FIBERGLASS	HALF ROUND	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	****	INTERIOR WINDOW, SECTION B, BELOW RIDGE
Y	LIVING HALL/KITCHEN	5220	ELDHR6224	MARVIN 'ELEVATE'	FIBERGLASS	FIXED	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	12'-4" ABV SUBFLOOR	INTERIOR WINDOW
Z	LIVING HALL/KITCHEN	4020	ELDHR4824	MARVIN 'ELEVATE'	FIBERGLASS	FIXED	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	12'-4" ABV SUBFLOOR	INTERIOR WINDOW
ZZ	BATH 1 - MASTER	4020	ESAWN4020	MARVIN 'ESSENTIAL'	FIBERGLASS	AWNING	CLEAR, SINGLE PANE	NOT TEMPERED	2X6	8'-4" ABV SUBFLOOR	INTERIOR WINDOW

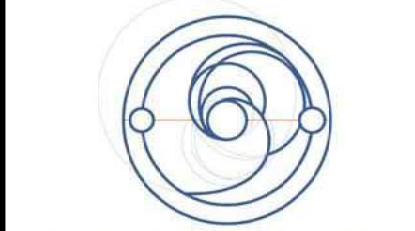
NOTE: ALL GLAZING AT EXTERIOR WALLS TO BE LOW E2
 NOTE: WINDOWS 'J' & 'U' ARE EGRESS WINDOWS
 NOTE: SEE EXTERIOR ELEVATIONS FOR MUNTIN BAR PATTERNS, ALL MUNTIN BARS TO BE SIMULATED DIVIDED LITE
 NOTE: WINDOWS 'H' & 'T' ALTERNATIVE OPTION IS MARVIN 'ESSENTIAL' CN - ESDH3030

WINDOW SCHEDULE

DOOR SYMBOL	ROOM NAME	SIZE	CN	INTER/EXTER	MFR	MATERIAL	STYLE	GLASS	TEMPERED	WALL	REMARKS
1	FRONT ENTRY	6068 PLUS TRANSOM		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED PAIR	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	NORTH ELEVATION
2	KITCHEN-NOOK	3068 PLUS TRANSOM		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
3	FAMILY ROOM	11972	ELDSD12070 0XX0	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
4	BEDROOM 1 - MASTER	5072	ELDSD5070	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
5	WEST MUDROOM	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	N/A	2X6	WEST ELEVATION
6	MULTI-PURPOSE ROOM	50610	ELDSD5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
7	MULTI-PURPOSE ROOM	50610	ELDSD5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
8	EAST MUDROOM	50610	ELDSD5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	EAST ELEVATION
9	MULTI-PURPOSE/MUD WEST	50610	ELDSD5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	
10	MULTI-PURPOSE/MUD EAST	50610	ELDSD5068	EXTERIOR	MARVIN 'ELEVATE'	FIBERGLASS	SLIDING FRENCH DOOR	CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	
11	WORKSHOP	6070 PLUS TRANSOM		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED PAIR	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
12	CAMPER GARAGE	10060		EXTERIOR			ROLL-UP	TOP ROW GLASS, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
13	DOUBLE GARAGE	16070		EXTERIOR			ROLL-UP	TOP ROW GLASS, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
14	ENTRY CLOSET	2868		INTERIOR		SC WOOD	HINGED			2X4	
15	DINING/FRONT ENTRY	5080		INTERIOR		SC WOOD	POCKET			2X6	
16	DINING/KITCHEN	4080		INTERIOR		SC WOOD	POCKET			2X6	
17	KITCHEN/LIVING	5080		INTERIOR		SC WOOD	POCKET			2X6	
18	POWDER	2668		INTERIOR		SC WOOD	HINGED			2X4	
19	OFFICE	3068		INTERIOR		SC WOOD	HINGED			2X4	
20	BEDROOM 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET	MIRRORED		2X4	
21	BEDROOM 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET	MIRRORED		2X4	
22	BATH 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET			2X4	
23	BATH 1 - MASTER	2868		INTERIOR		SC WOOD	POCKET			2X4	
24	BEDROOM 1 - MASTER	1488		INTERIOR		SC WOOD	HINGED			2X4	
25	BEDROOM 1 - MASTER	3068		INTERIOR		SC WOOD	HINGED			2X4	
26	HALL 2/LAUNDRY SHUTE	1668		INTERIOR		SC WOOD	POCKET			2X4	20 MIN FIRE RATED ASSEMBLY
27	HALL 1/BATH 2	2868		INTERIOR		SC WOOD	HINGED			2X4	
28	BATH 2	1668		INTERIOR		SC WOOD	HINGED			2X4	
29	BATH 2	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
30	BATH 2	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
31	HALL 1/BEDROOM 2 - GUEST	2868		INTERIOR		SC WOOD	HINGED			2X4	
32	BEDROOM 2 - GUEST	5068		INTERIOR		SC WOOD	SLIDING	MIRRORED		2X4	
33	JEANNIE MEDITATION ROOM	2668		INTERIOR		SC WOOD	HINGED			2X4	
34	HALL 1	3668		INTERIOR		SC WOOD	HINGED PAIR			2X4	
35	STORAGE 3/STORAGE 4	3068		INTERIOR		SC WOOD	HINGED			2X6	
36	WORKSHOP/STORAGE 4	3068		INTERIOR		SC WOOD	HINGED			2X6	
37	WORKSHOP/CAMPER GARAGE	3068		INTERIOR		SC WOOD	HINGED			2X6	
38	NOT USED									2X6	
39	DOUBLE GARAGE/EAST MUDROOM	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED			2X6	20 MIN FIRE RATED ASSEMBLY
40	WEST MUDROOM	6068		INTERIOR		SC WOOD	SLIDING			2X4	
41	MULTI-PURPOSE/STORAGE 1	6068		EXTERIOR		SC WOOD	HINGED PAIR			2X6	
42	EAST MUDROOM	2668		INTERIOR		SC WOOD	HINGED			2X4	
43	SEWING-CRAFTS/HALL 4	6068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
44	HALL 4	4068		INTERIOR		SC WOOD	HINGED PAIR			2X6	20 MIN FIRE RATED ASSEMBLY
45	HALL 4/LAUNDRY	3068		INTERIOR		SC WOOD	HINGED			2X4	
46	LAUNDRY SHUTE/LAUNDRY	1668		INTERIOR		SC WOOD	HINGED			2X4	20 MIN FIRE RATED ASSEMBLY
47	BATH 3/HALL 4	2868		INTERIOR		SC WOOD	POCKET			2X4	
48	BATH 3	1668		INTERIOR		SC WOOD	HINGED			2X4	
49	BATH 3	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
50	BATH 3	3068		INTERIOR		SC WOOD	HINGED PAIR			2X4	
51	BEDROOM 3 - GUEST	2868		INTERIOR		SC WOOD	HINGED			2X4	
52	BEDROOM 3 - GUEST	5068		INTERIOR		SC WOOD	SLIDING	MIRRORED		2X4	
53	HALL 4/STORAGE 4	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED			2X6	20 MIN FIRE RATED ASSEMBLY
54	HALL 5/DUMB WAITER	2640		**	**	**	**			2X6	20 MIN FIRE RATED ASSEMBLY
55	DOUBLE GARAGE/DUMB WAITER	2640		**	**	**	**			2X6	20 MIN FIRE RATED ASSEMBLY
56	KITCHEN/DUMB WAITER	2636		**	**	**	**			2X4	20 MIN FIRE RATED ASSEMBLY

NOTE: DOOR 3 & 4 TO BE MARVIN 'ELEVATE' TO MATCH WINDOWS

DOOR SCHEDULE




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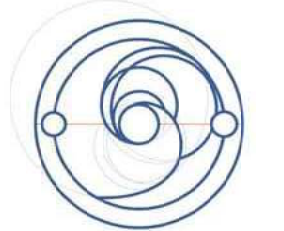


LICENSED ARCHITECT
 WALTER F. STAMBEY
 C-24696
 12/12/22
 RENEWAL DATE

DATE: 5-13-21

Sheet **A-6**

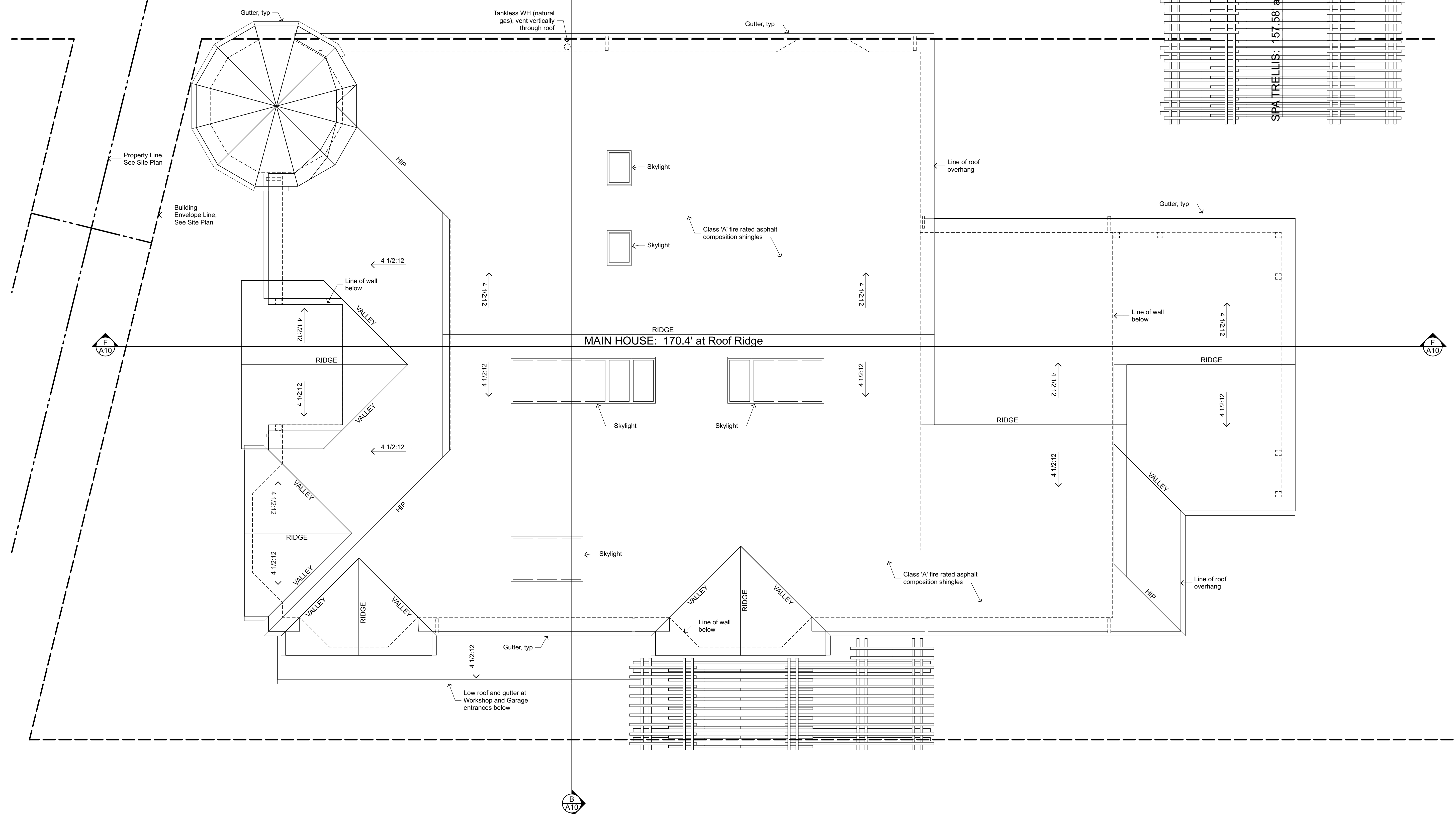
Scale



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BUILDING DRAINAGE:
All roofs slope to gutters and downspouts.
Rainwater is collected and directed into drainage system per Civil Plans.



REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

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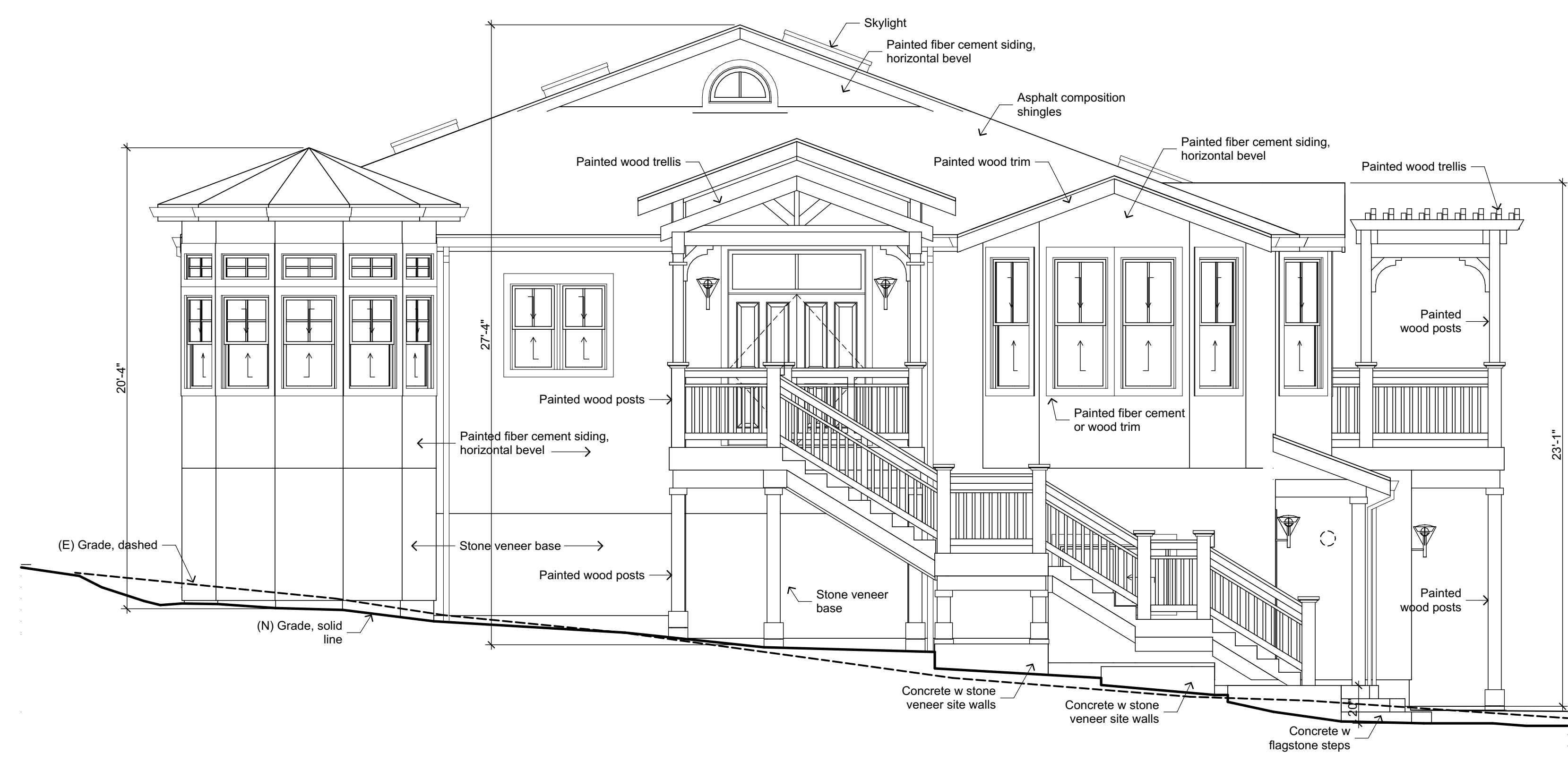


DATE: 5-13-21

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A-7

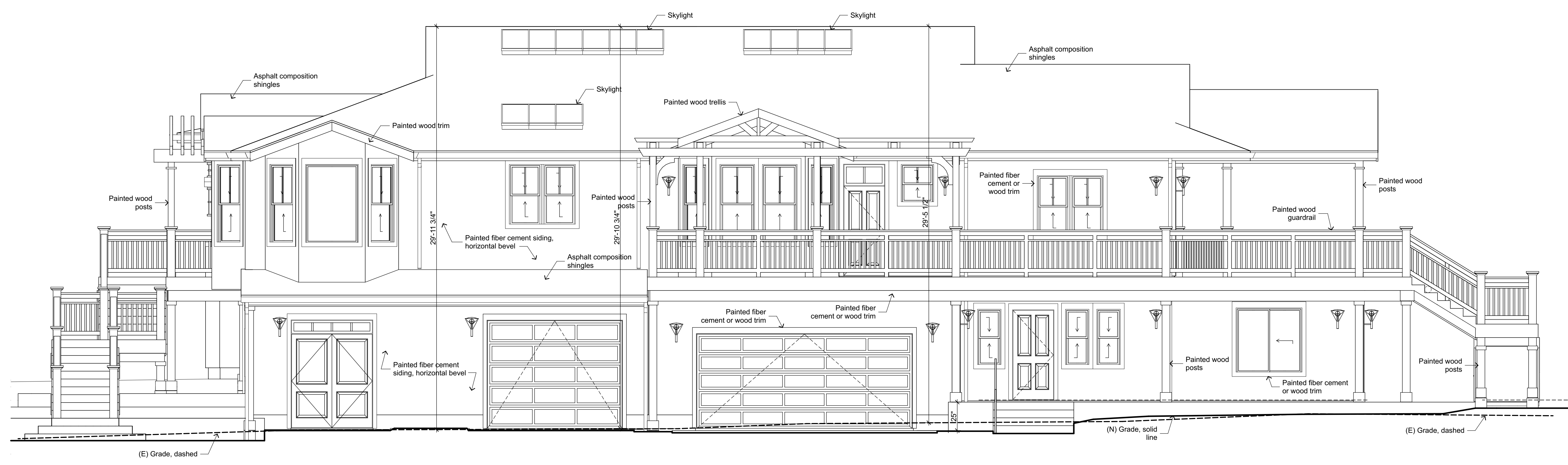
Scale

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NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS - MAIN HOUSE

1/4"=1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

SCHOCH RESIDENCE
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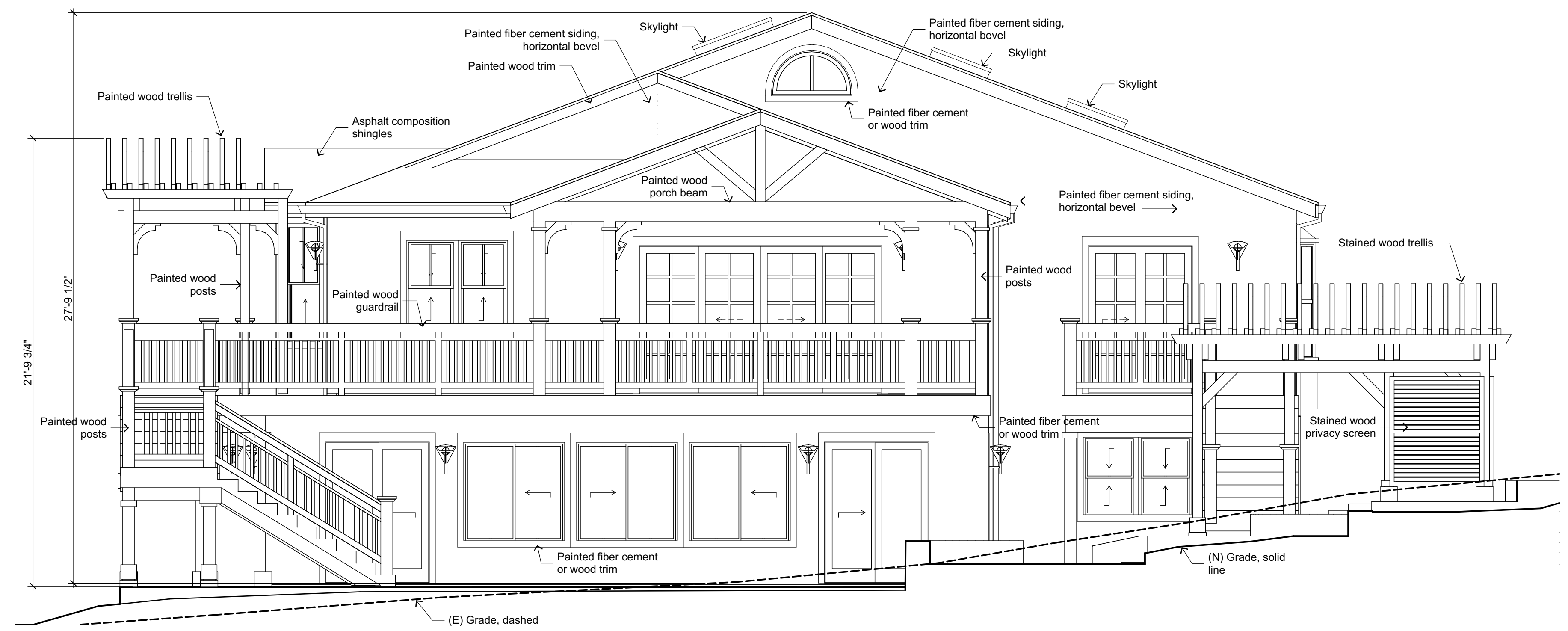


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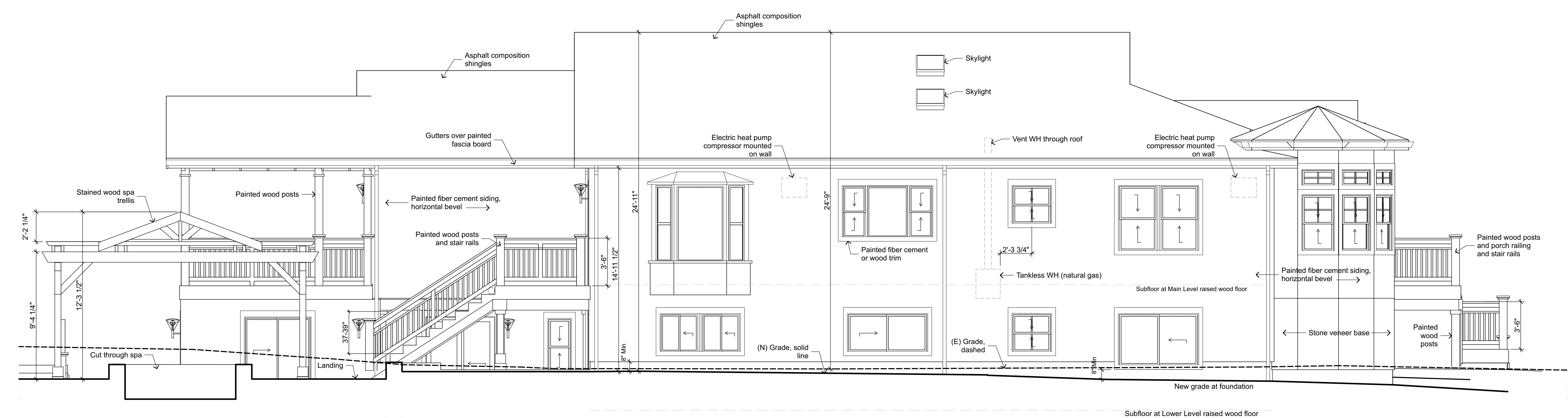
Scale

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SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS - MAIN HOUSE

1/4" = 1'-0"

CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.

SCHOCH RESIDENCE
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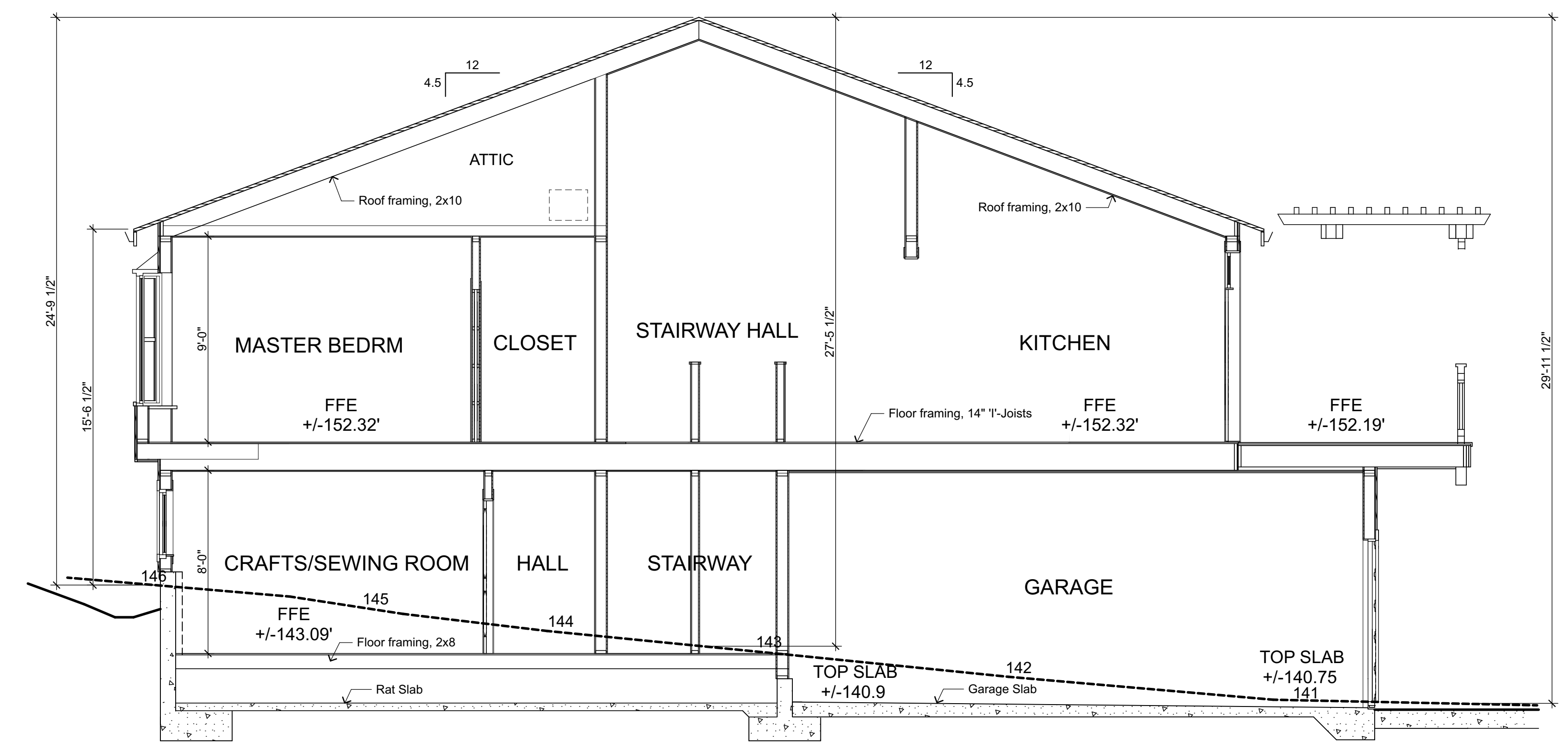


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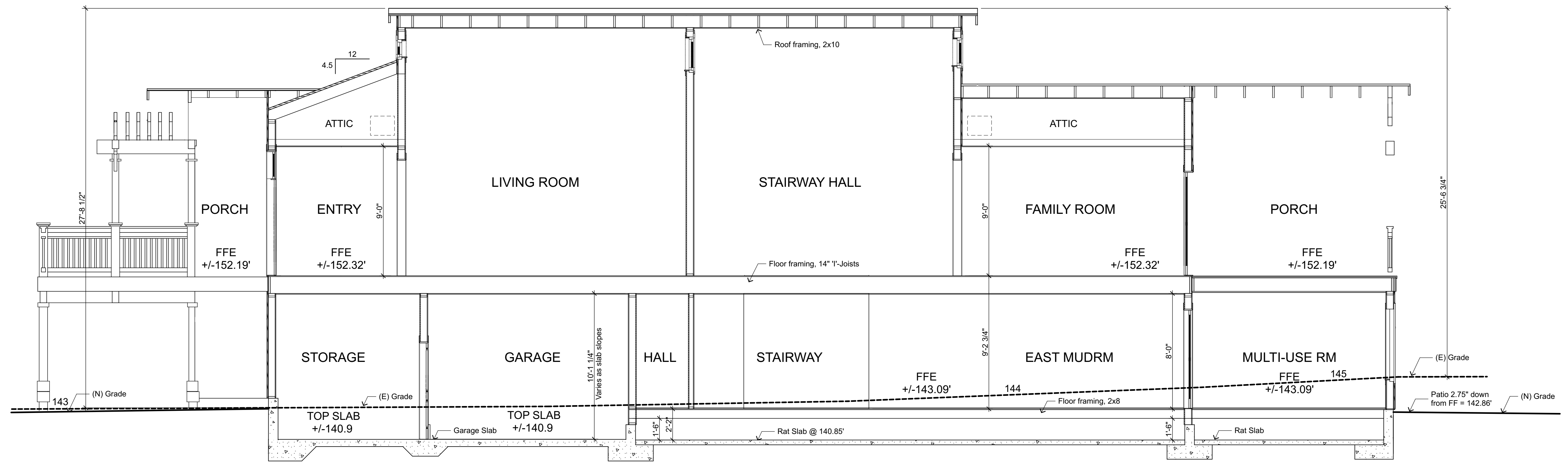
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Scale

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SECTION C
1/4" = 1'-0"



SECTION F
1/4" = 1'-0"

SECTIONS - MAIN HOUSE
1/4"=1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

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New Residence and ADU
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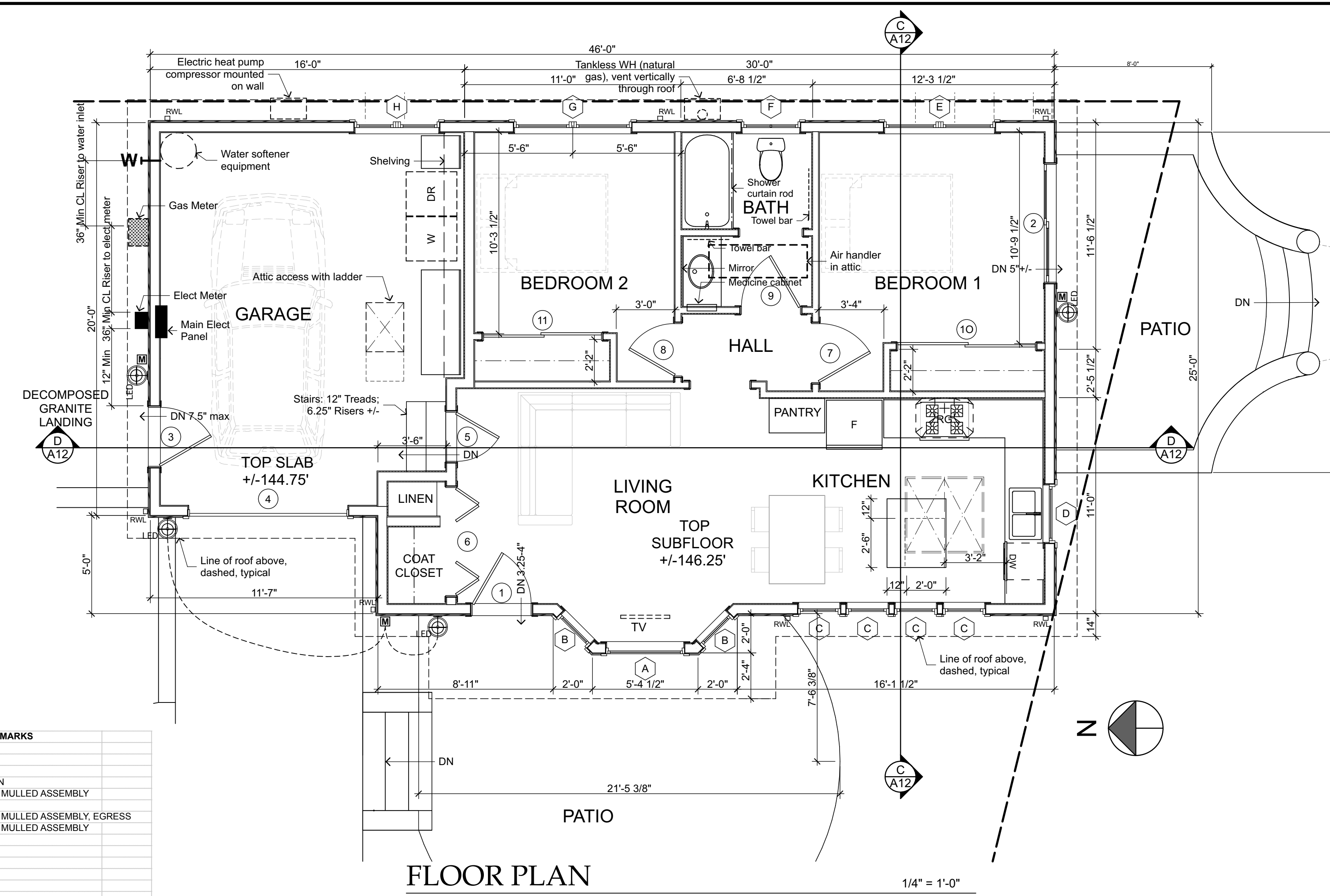
DATE: 5-13-21

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Scale

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FLOOR PLAN
1/4" = 1'-0"

WINDOW SYMBOL	ROOM NAME	SIZE	CN	MFR	MATERIAL	OPERATION	GLASS	TEMPERED	WALL	HEAD HEIGHT	REMARKS
A	LIVING ROOM	4054	ELDH4864	MARVIN 'ELEVATE'	FIBERGLASS	PICTURE	CLEAR, DUAL PANE	INTERIOR & EXTERIOR PANES	2X6	7'-8" ABV SUBFLOOR	WEST ELEVATION
B	LIVING ROOM	2254	ELDH2664	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-8" ABV SUBFLOOR	WEST ELEVATION
C	KITCHEN	2248	EDH2656	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-8" ABV SUBFLOOR	WEST ELEVATION
D	KITCHEN	3054	ELDH3664	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	8'-10" ABV SUBFLOOR	SOUTH ELEVATION
E	BEDROOM 1	5848	ELDH3456 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-0" ABV SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY
F	BATHROOM	3030	ELDH3636	MARVIN 'ELEVATE'	FIBERGLASS	DOUBLE HUNG	TEXTURED, DUAL PANE	INTERIOR & EXTERIOR PANES	2X6	7'-0" ABV SUBFLOOR	EAST ELEVATION
G	BEDROOM 2	6950	ELDH3660 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	EXTERIOR PANES	2X6	7'-0" ABV SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY, EGRESS
H	GARAGE	4444	ELDH2652 2W	MARVIN 'ELEVATE'	FIBERGLASS	PAIR DOUBLE HUNG	CLEAR, DUAL PANE	INTERIOR & EXTERIOR PANES	2X6	7'-0" ABV HOUSE SUBFLOOR	EAST ELEVATION, MULLED ASSEMBLY

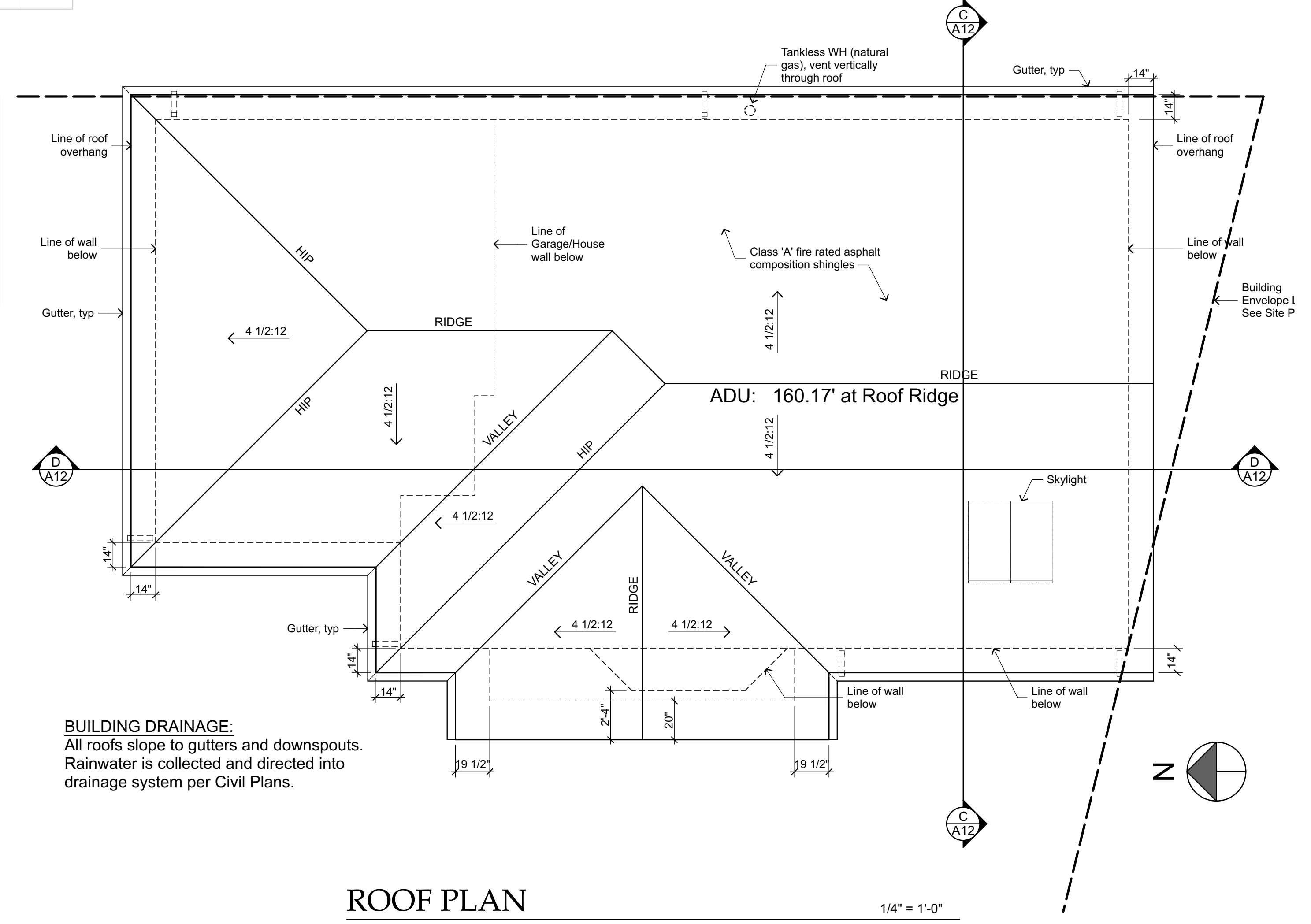
NOTE: ALL GLAZING TO BE LOW E2
NOTE: WINDOWS 'G' ARE EGRESS WINDOWS
NOTE: SEE EXTERIOR ELEVATIONS FOR MUNTIN BAR PATTERNS, ALL MUNTIN BARS TO BE SIMULATED DIVIDED LITE

WINDOW SCHEDULE

DOOR SYMBOL	ROOM NAME	SIZE	CN	INTER/EXTER	MFR	MATERIAL	STYLE	GLASS	TEMPERED	WALL	REMARKS
1	LIVING ROOM ENTRY	3068 PLUS TRANSOM	69610	EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
2	BEDROOM 1	69610	ELDFD6068	EXTERIOR	MARVIN ELEVATE	FIBERGLASS	SLIDING	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	SOUTH ELEVATION
3	GARAGE	3068 PLUS TRANSOM	69610	EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED	TRANSOM, CLEAR, DUAL PANE	EXT & INTERIOR PANES	2X6	NORTH ELEVATION
4	GARAGE	8070		EXTERIOR	THERMA-TRU	METAL	ROLL-UP	TOP ROW GLASS, DUAL PANE	EXT & INTERIOR PANES	2X6	WEST ELEVATION
5	LIVING ROOM/GARAGE	3068		EXTERIOR	THERMA-TRU	INSUL FIBERGLASS	HINGED	TOP ROW GLASS, DUAL PANE	EXT & INTERIOR PANES	2X6	20 MIN FIRE RATED ASSEMBLY
6	ENTRY CLOSET	5668		INTERIOR	SC WOOD/MDF	BIFOLD				2X4	
7	BEDROOM 1	3068		INTERIOR	SC WOOD/MDF	HINGED				2X4	
8	BEDROOM 2	2868		INTERIOR	SC WOOD/MDF	HINGED				2X4	
9	BATHROOM	3068		INTERIOR	SC WOOD/MDF	HINGED				2X4	
10	BEDROOM 1 CLOSET	7068		INTERIOR	SC WOOD/MDF	SLIDING				2X4	
11	BEDROOM 2 CLOSET	6068		INTERIOR	SC WOOD/MDF	SLIDING				2X4	

NOTE: DOOR 2 TO MATCH WINDOWS

DOOR SCHEDULE



ROOF PLAN
1/4" = 1'-0"

BUILDING DRAINAGE:
All roofs slope to gutters and downspouts.
Rainwater is collected and directed into drainage system per Civil Plans.

FLOOR PLAN & ROOF PLAN - ADU

1/4" = 1'-0"

SCHOCH RESIDENCE
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DATE: 5-13-21

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Scale

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CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.

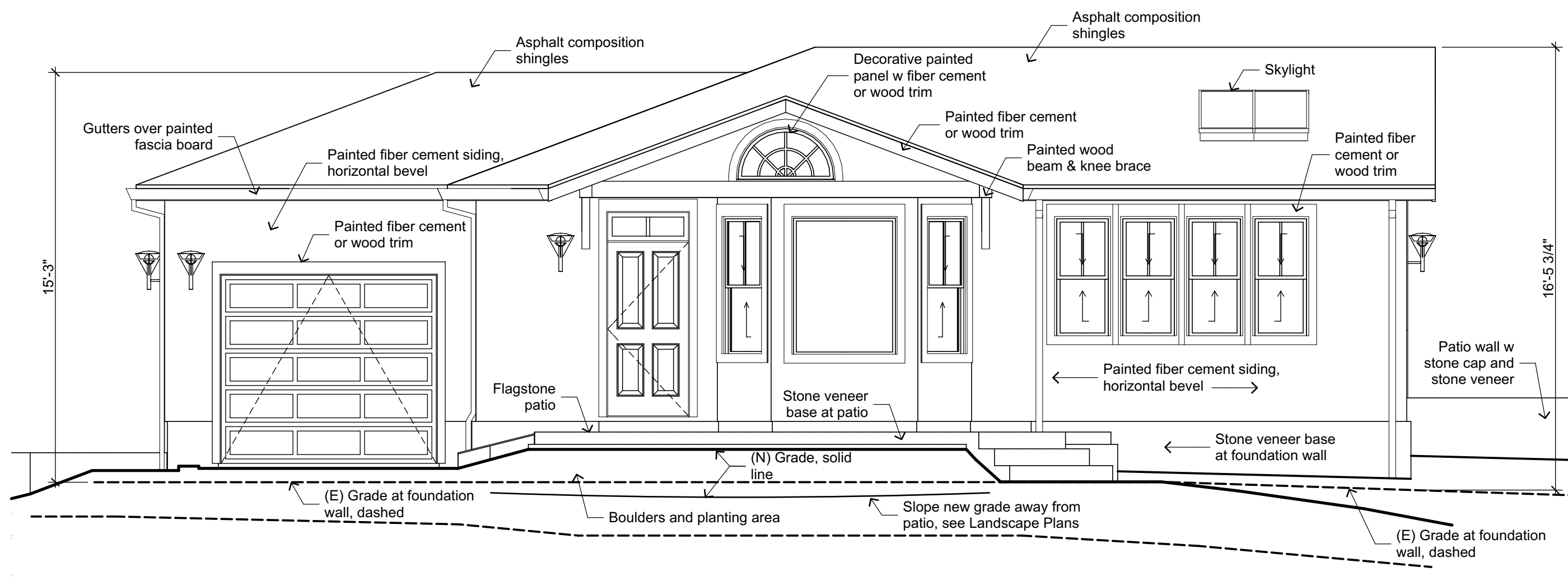
SCHOCH RESIDENCE
 New Residence and ADU
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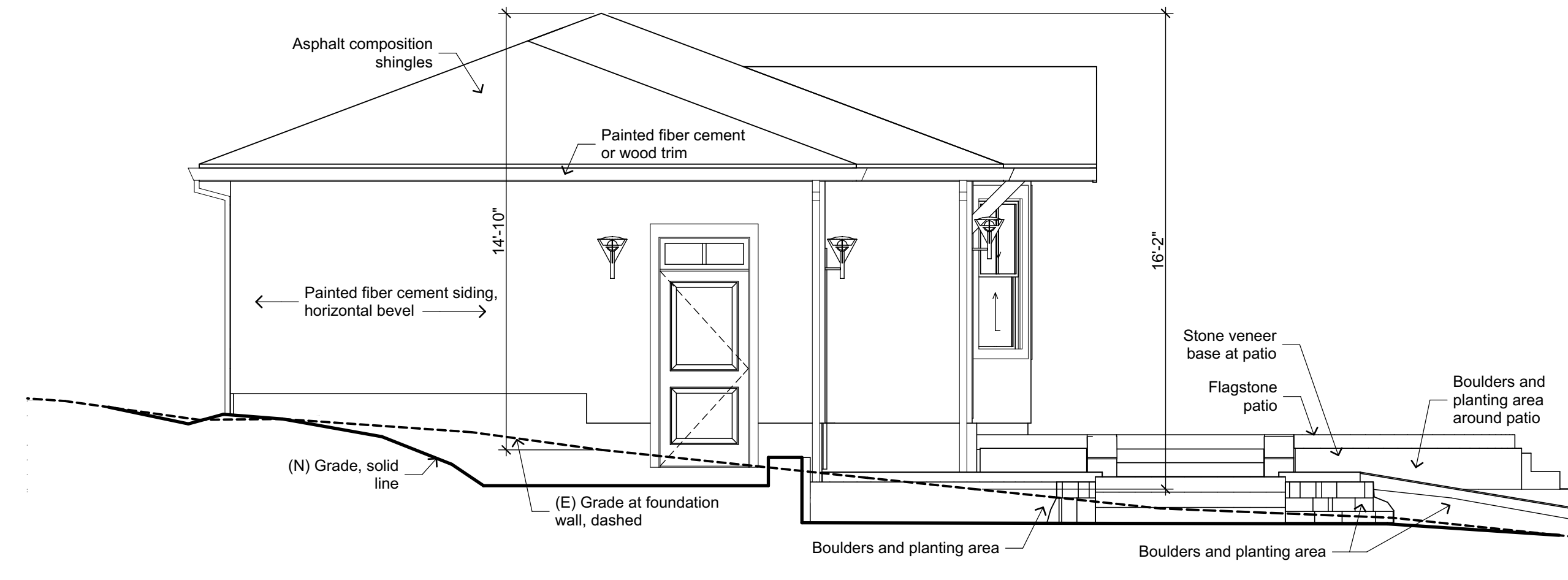
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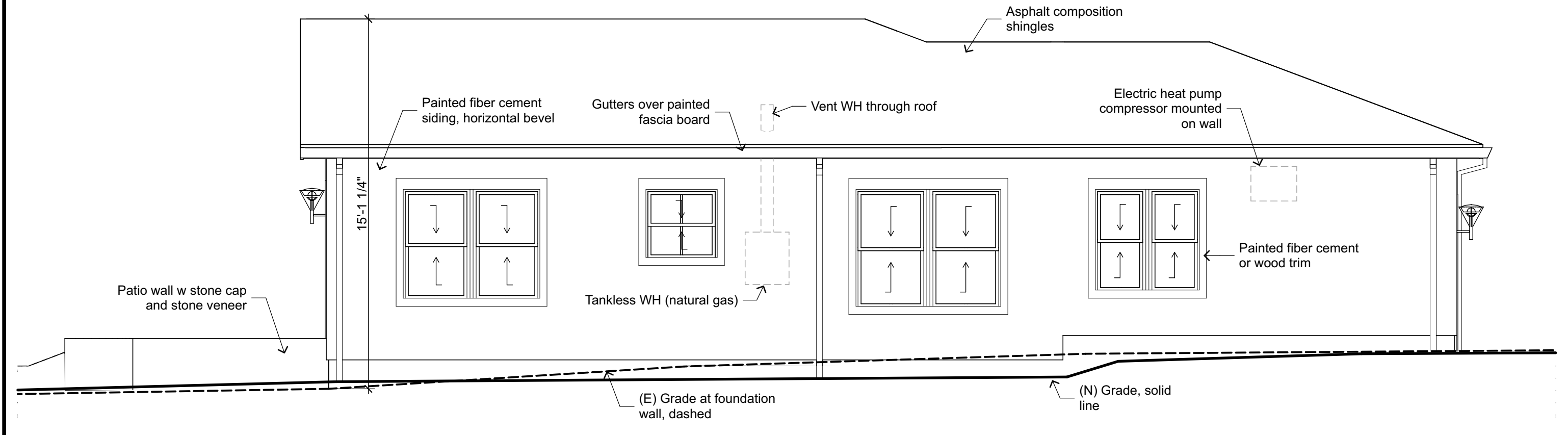
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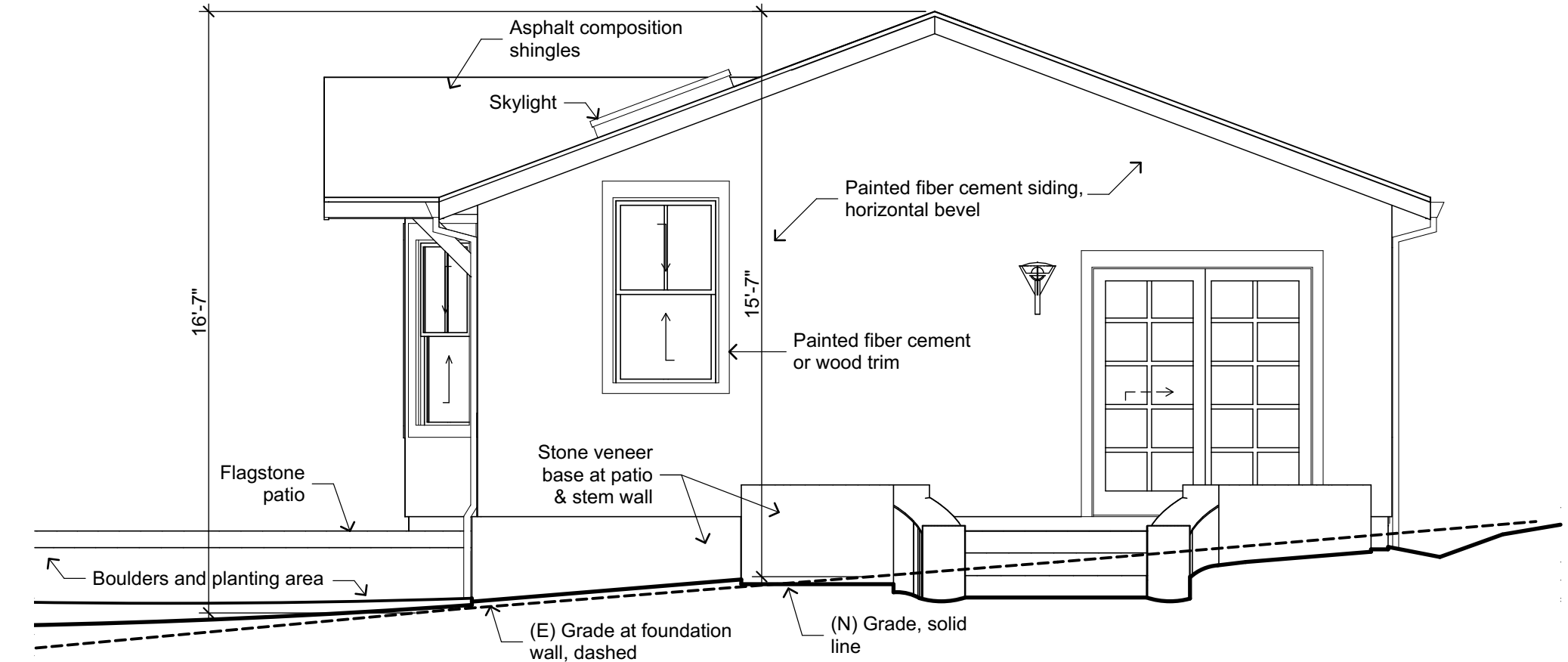
WEST ELEVATION 1/4" = 1'-0"



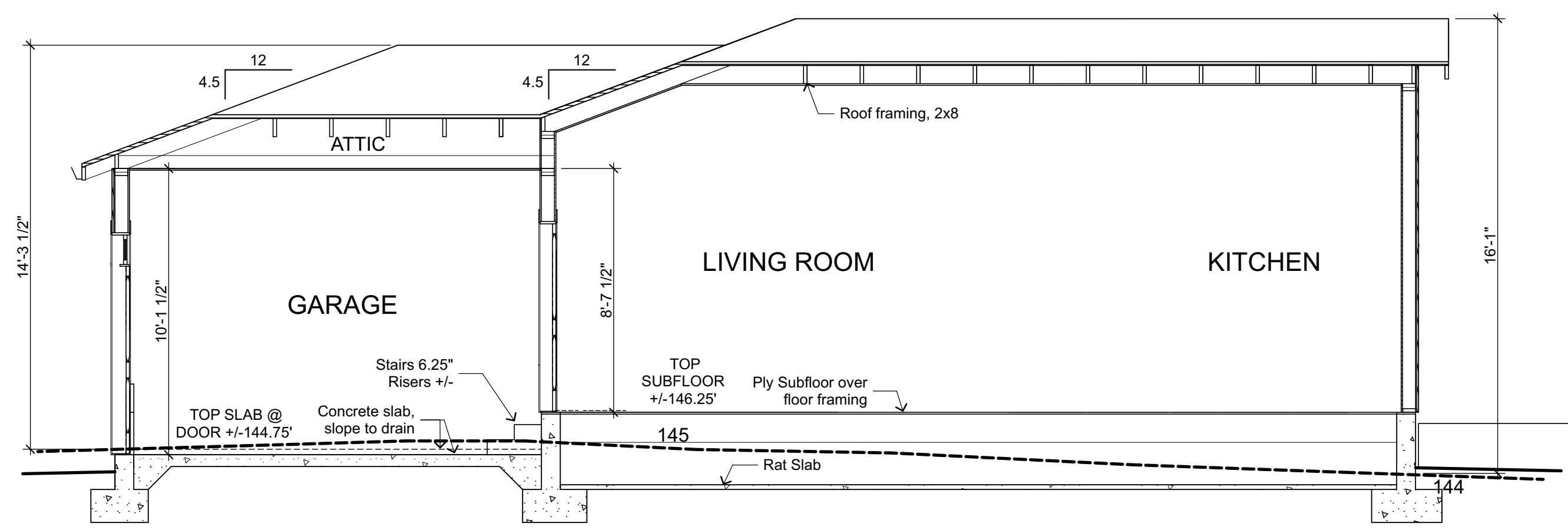
NORTH ELEVATION 1/4" = 1'-0"



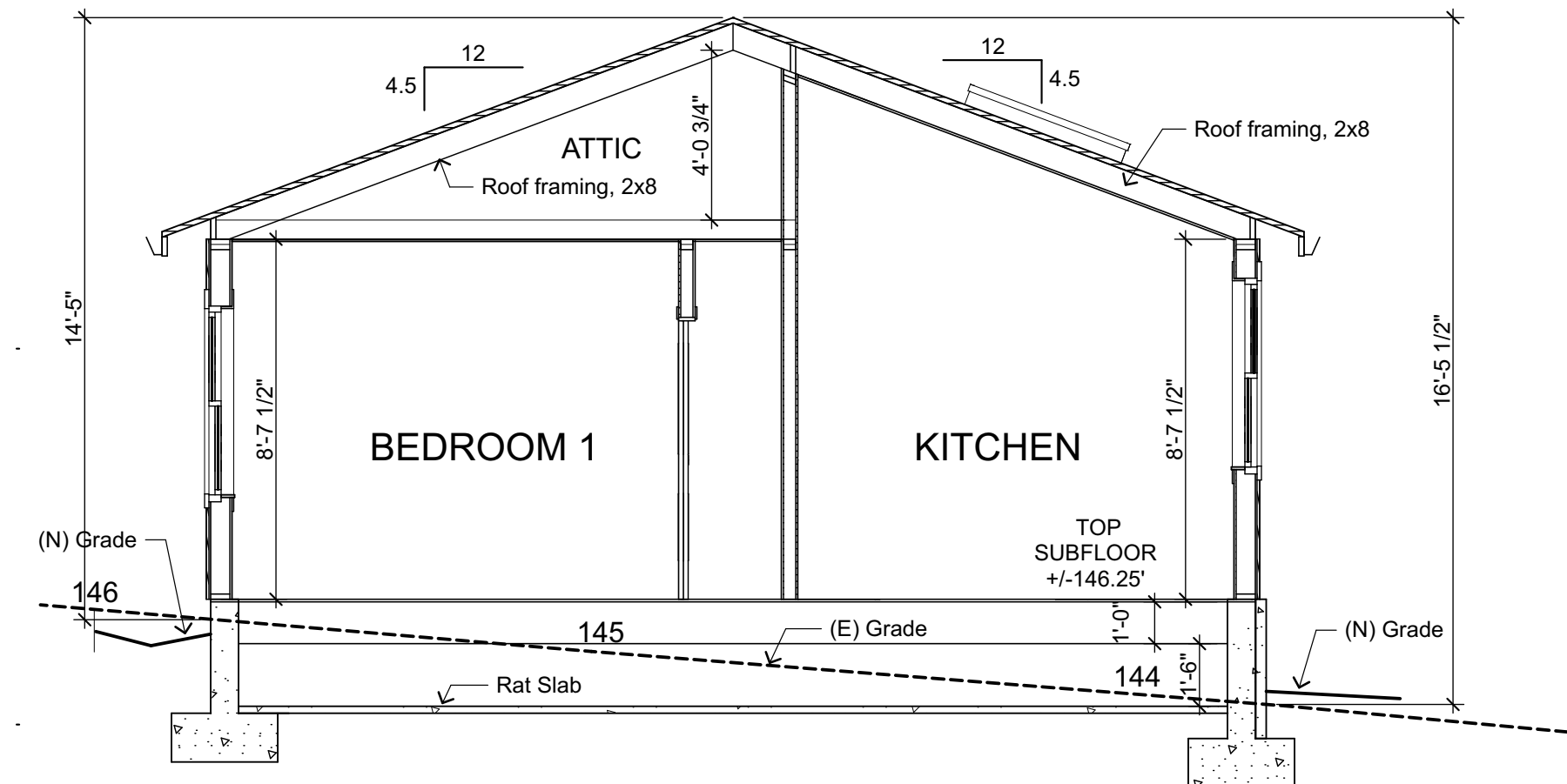
EAST ELEVATION 1/4" = 1'-0"



SOUTH ELEVATION 1/4" = 1'-0"



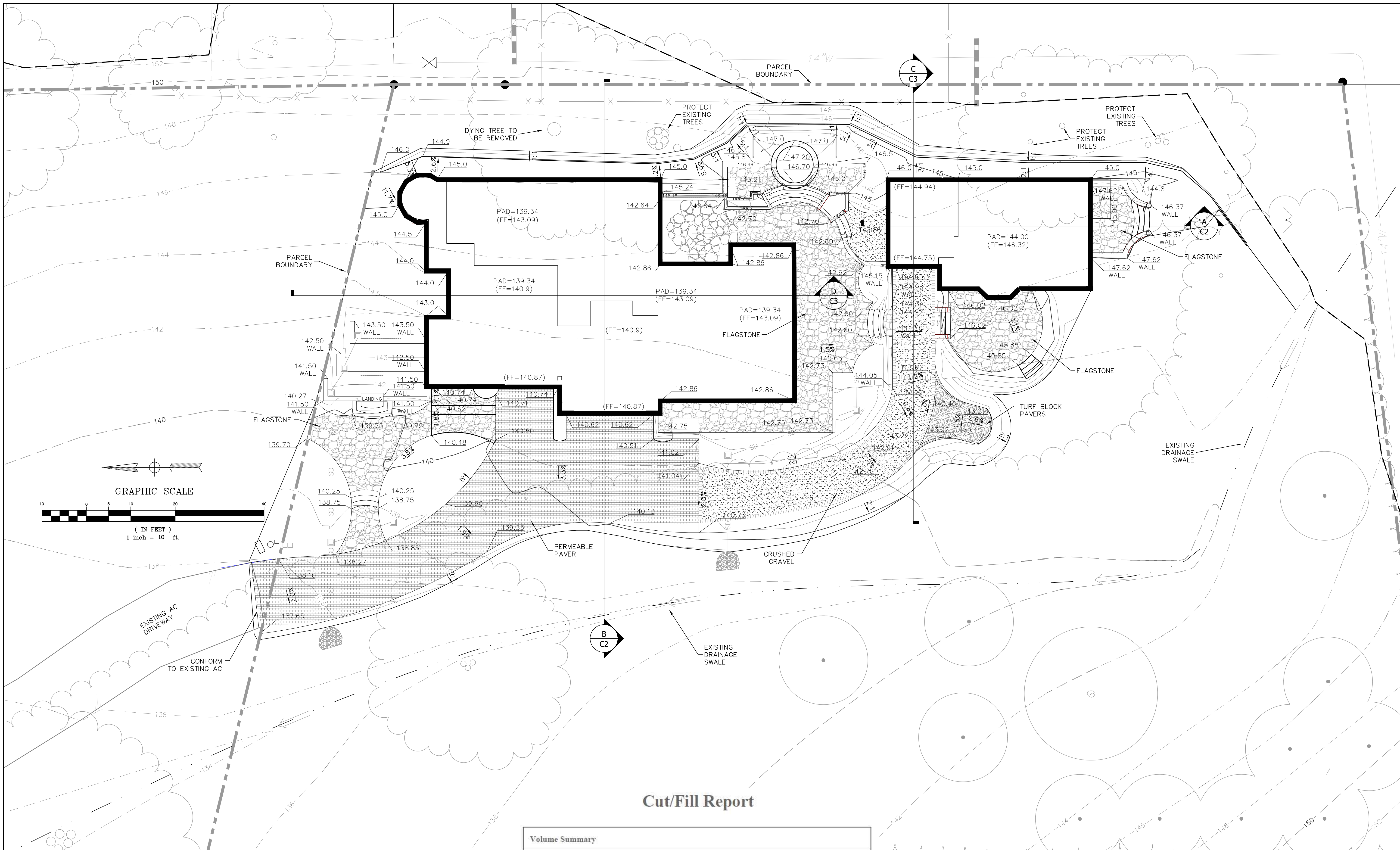
SECTION D 1/4" = 1'-0"



SECTION C 1/4" = 1'-0"

EXTERIOR ELEVATIONS & SECTIONS - ADU

1/4"=1'-0"



Cut/Fill Report

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Volume Surface	full	1.0	1.0	15397	660	300	360 <Cut>
Totals				2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total				15397	660	300	360 <Cut>

* Value adjusted by cut or fill factor other than 1.0

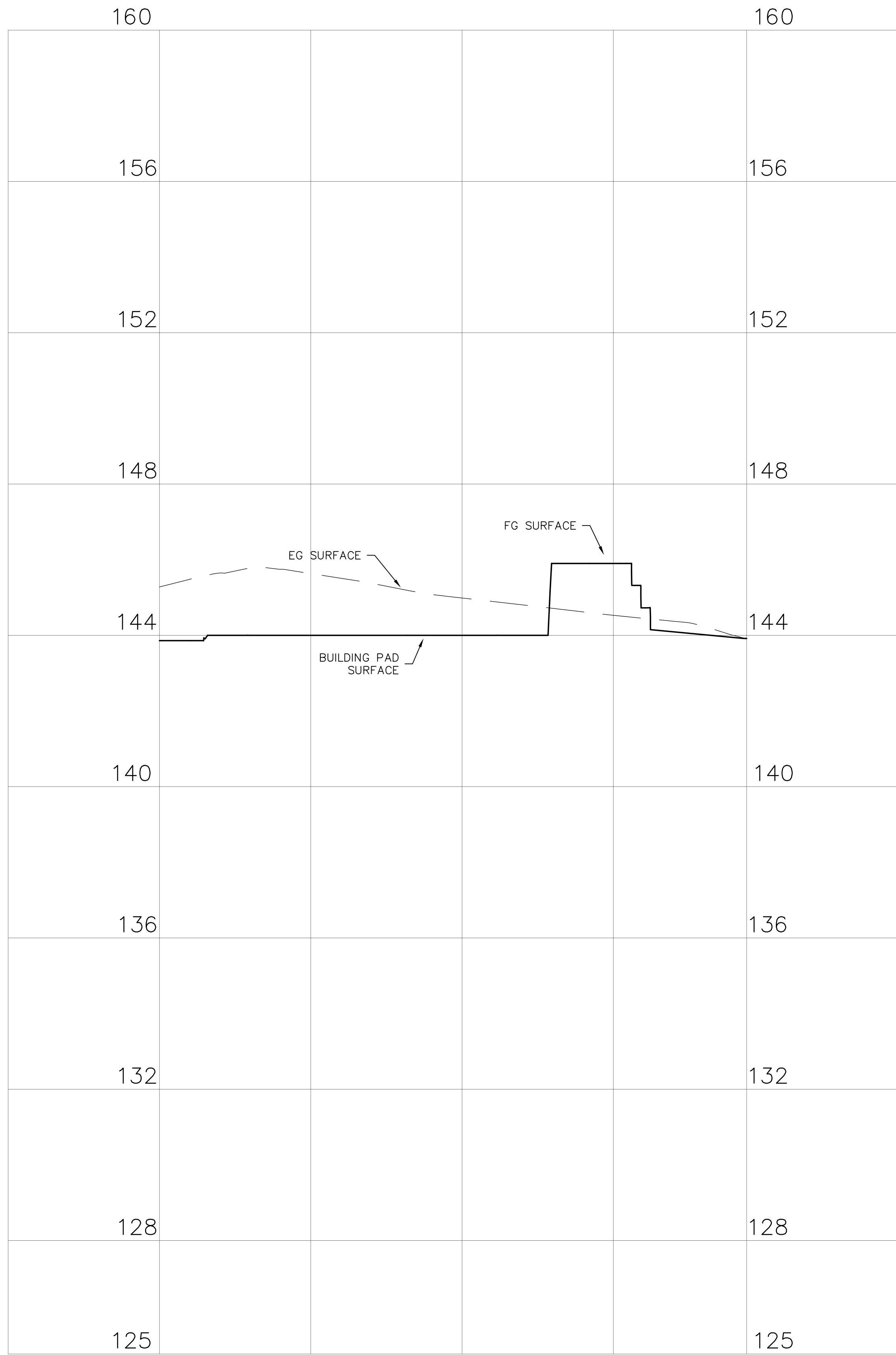
NO.	HISTORY / REVISION	BY / CHK.	DATE

BUILDERS STUDIO OF SEBASTOPOL
 555 SOUTH MAIN STREET, SUITE 1
 SEBASTOPOL, CA 95472

GRADING PLAN AND EARTHWORK

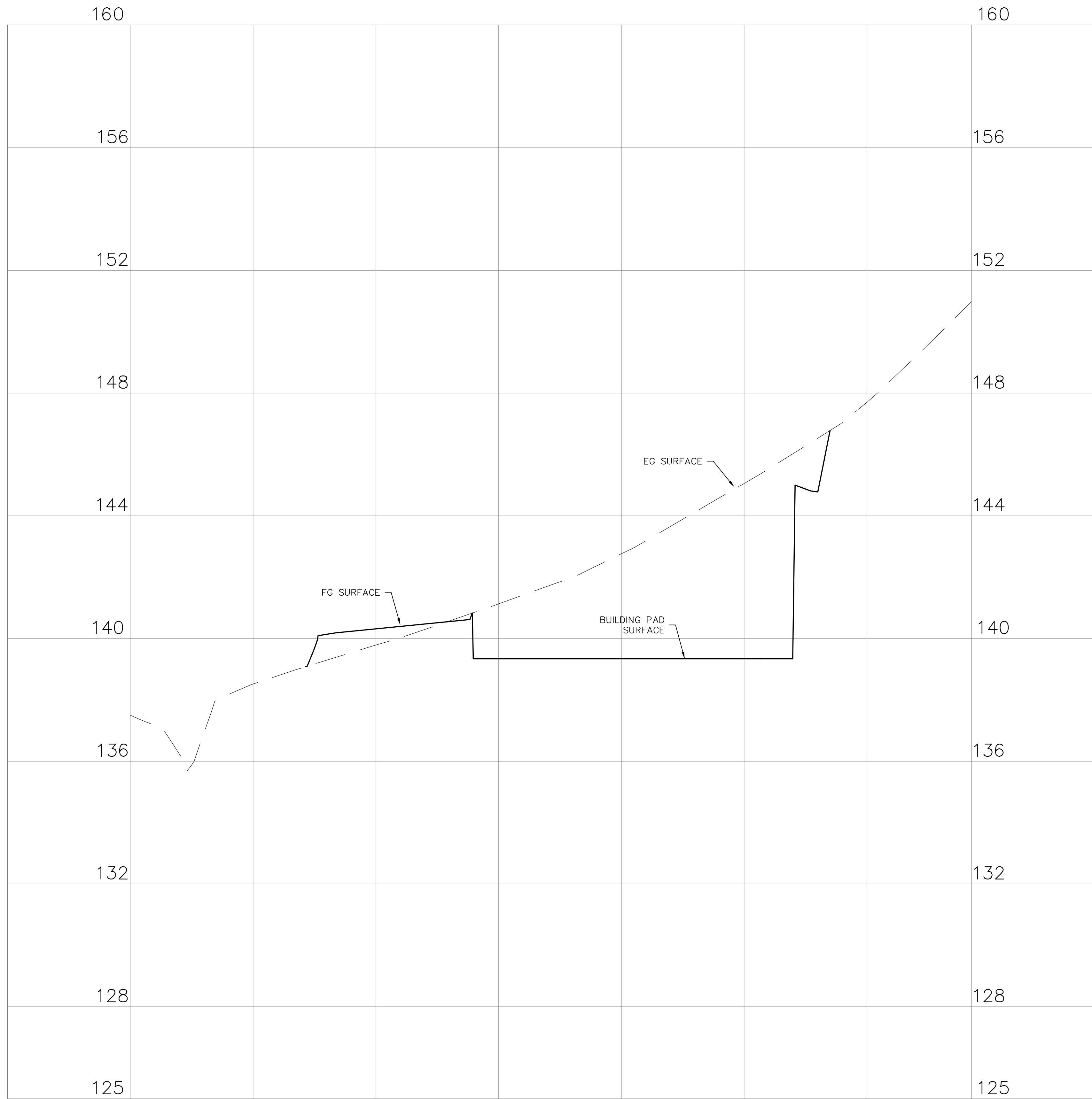


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CHECK	CCM
APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	C1



ADU NORTH/SOUTH
1"=10'H, 1"=2'V

A



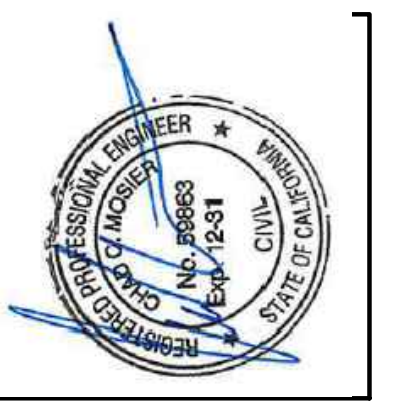
MAIN HOUSE WEST/EAST
1"=10'H, 1"=2'V

B

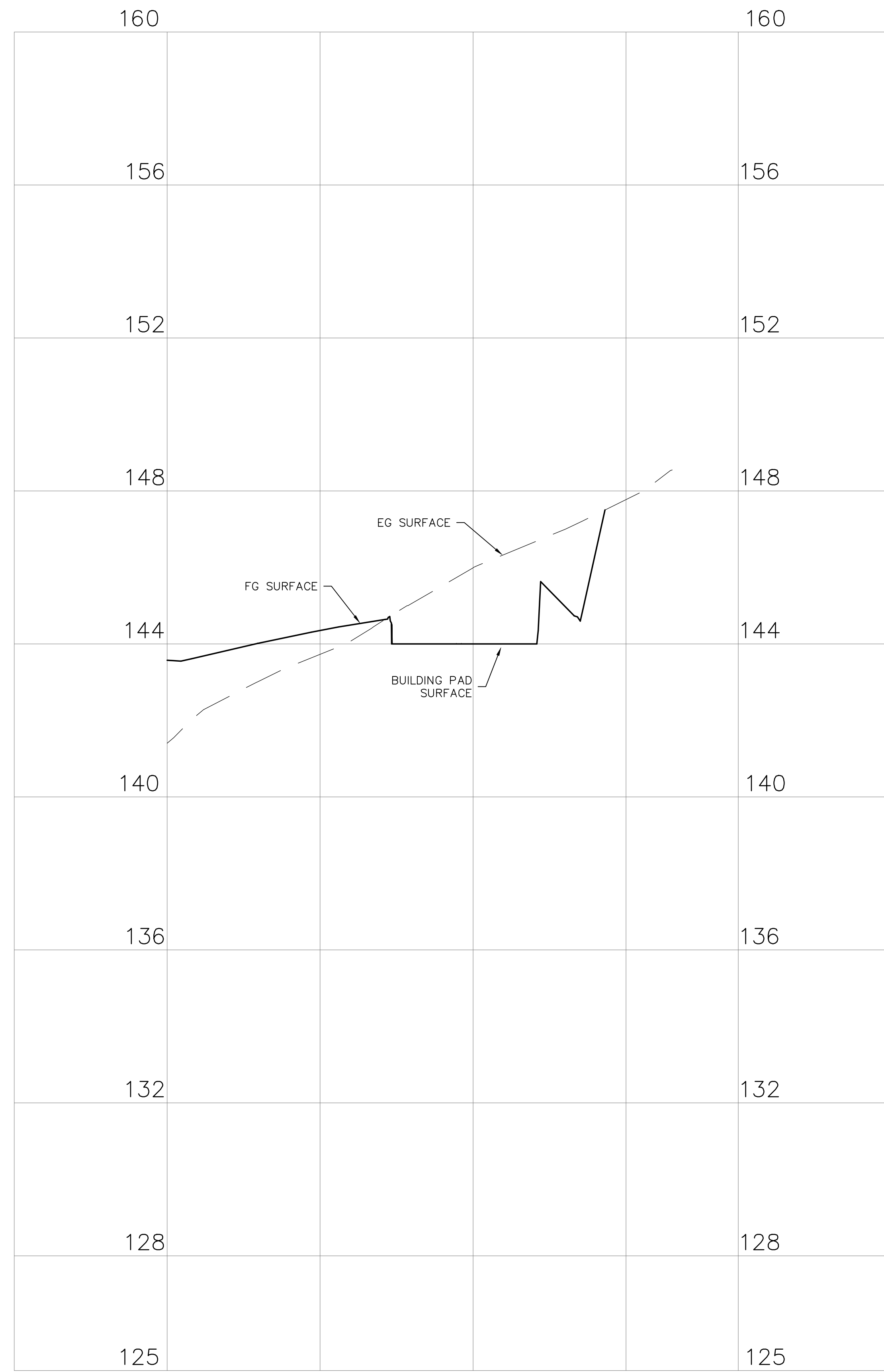
NO.	HISTORY / REVISION	BY	CHK.	DATE

BUILDERS STUDIO OF SEBASTOPOL
555 SOUTH MAIN STREET, SUITE 1
SEBASTOPOL, CA 95472

CROSS SECTIONS

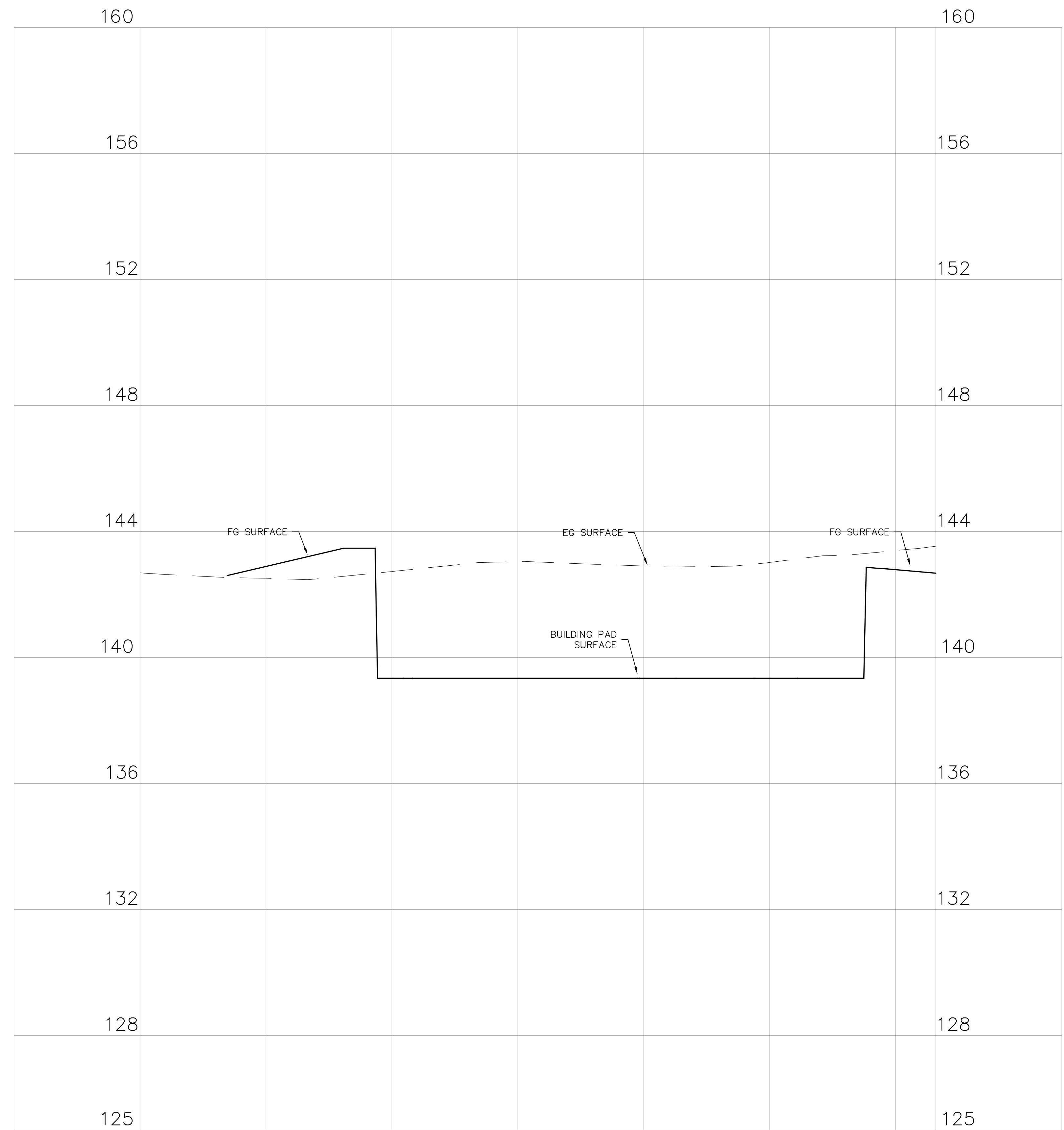


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CHECK	CCM
APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	C2



ADU WEST/EAST
1"=10'H, 1"=2'V

C



MAIN HOUSE NORTH/SOUTH
1"=10'H, 1"=2'V

D

NO.	HISTORY / REVISION	BY	CHK.	DATE

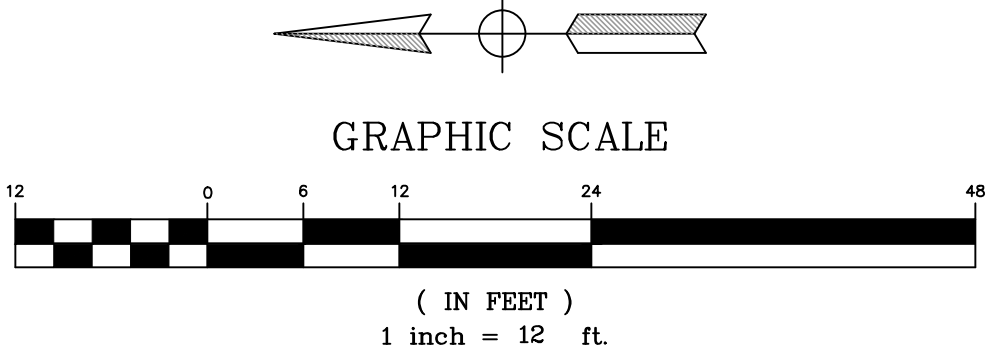
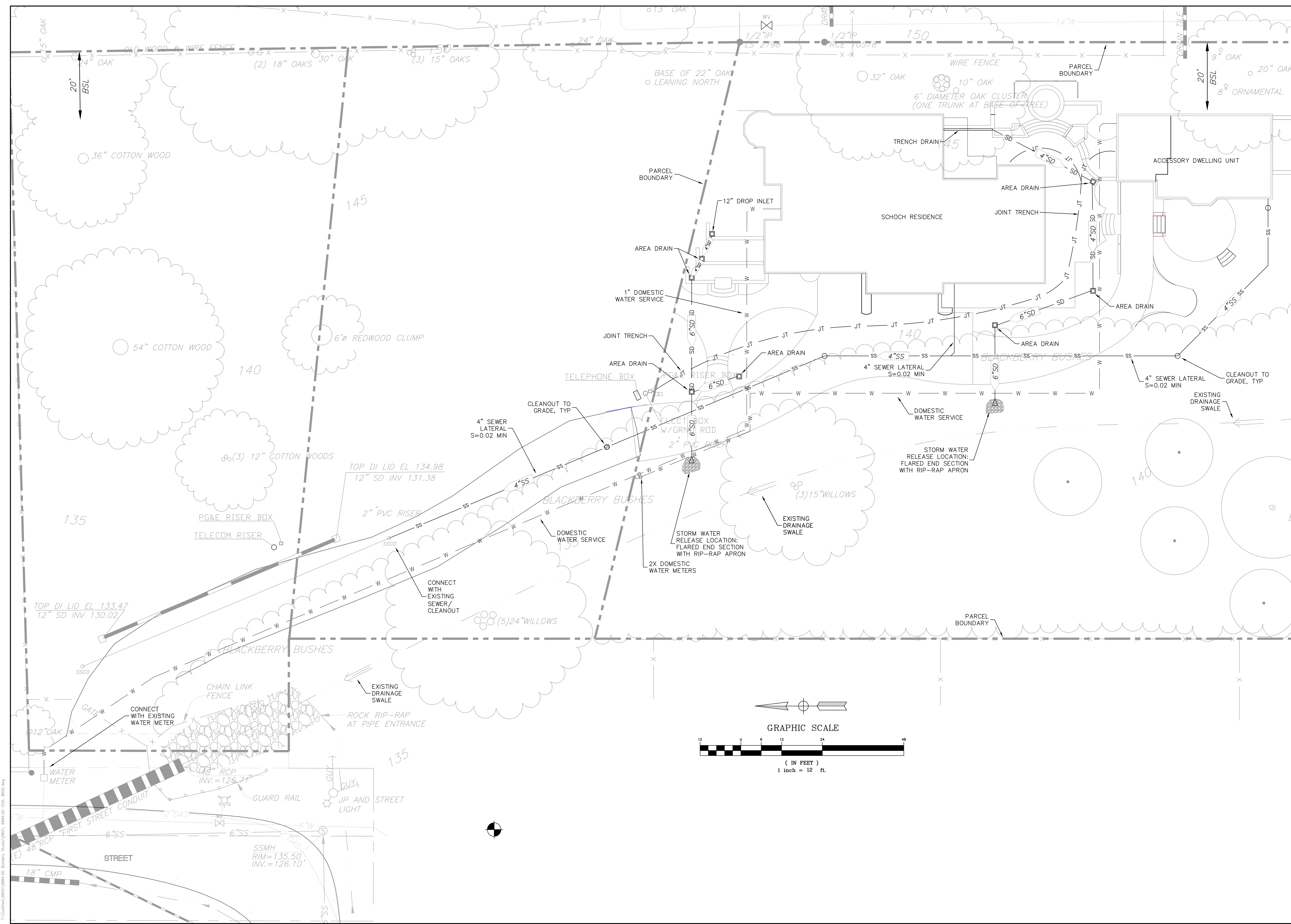
BUILDERS STUDIO OF SEBASTOPOL
555 SOUTH MAIN STREET, SUITE 1
SEBASTOPOL, CA 95472

CROSS SECTIONS



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CHECK	CCM
APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	C3

C3

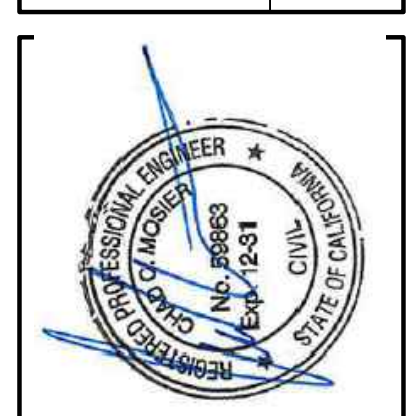


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1-800-515-5054 www.lacoassociates.com

HISTORY / REVISION	BY	CHK.	DATE

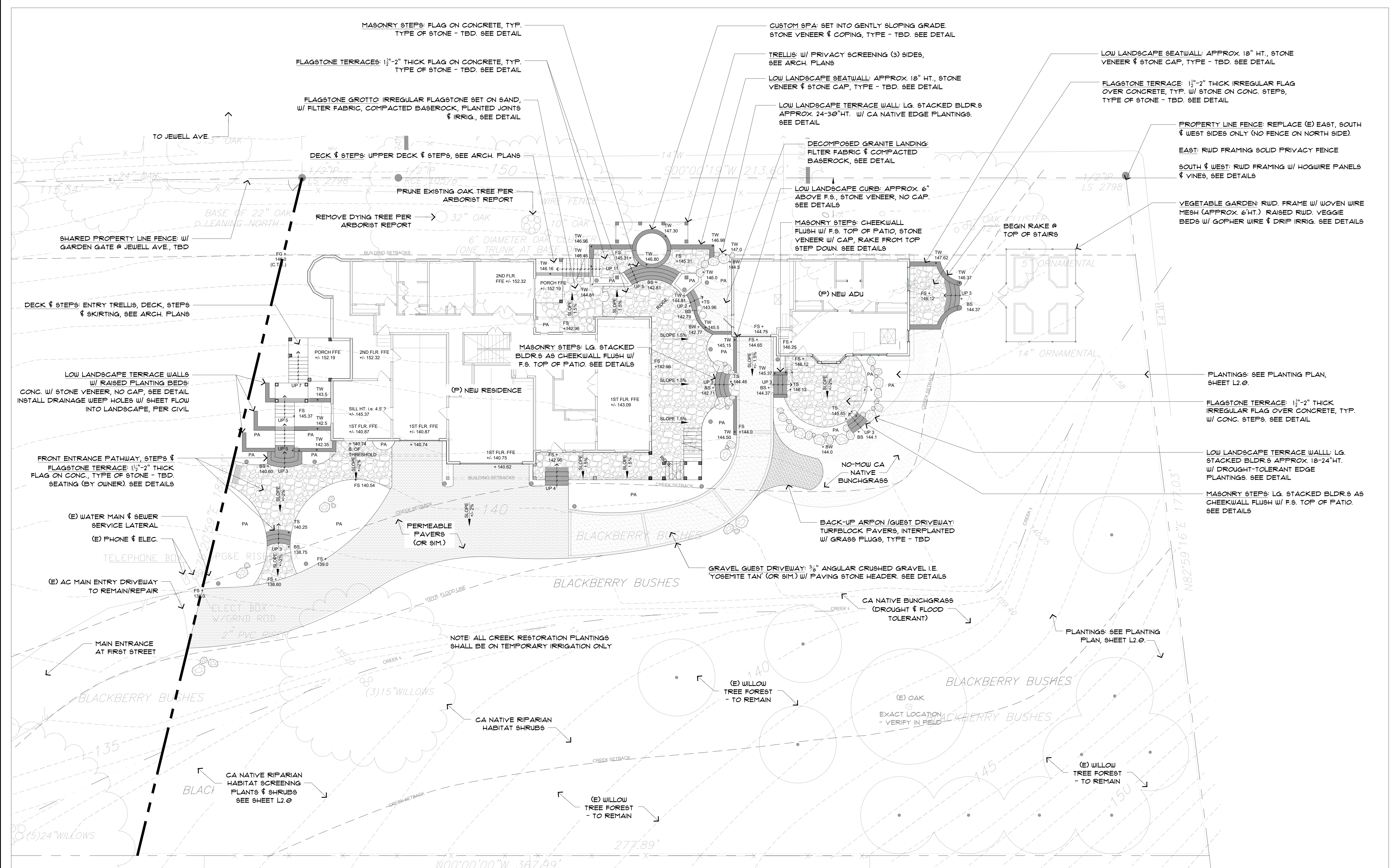
BUILDERS STUDIO OF SEBASTOPOL
555 SOUTH MAIN STREET, SUITE 1
SEBASTOPOL, CA 95472

UTILITY PLAN



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APPROVED	
DATE	5/13/2021
JOB NUMBER	9884.00
DRAWING	C4

May 14, 2021 11:50am
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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
		DESIGN REVIEW SUBMITTAL	JN	JN	PS

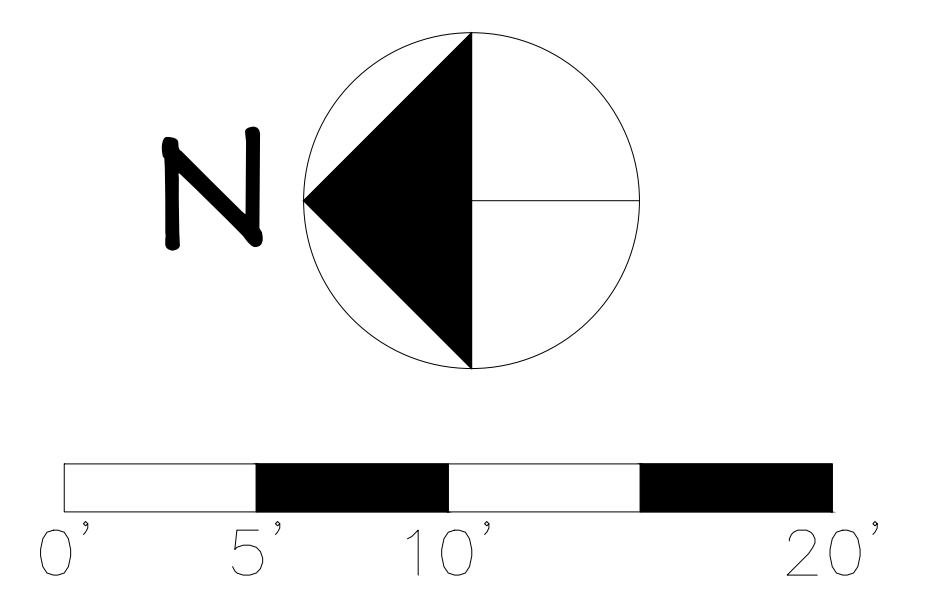
**SCHOCH RESIDENCE
 LANDSCAPE PLAN**
 163 FIRST STREET
 SEBASTOPOL, CA 95472
 094-112-011

- NOTES**
- IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL AREAS. ALL DRAINAGE PER CIVIL PLANS.
 - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 - NO TRENCHES FOR ANY PURPOSE SHALL BE DUG WITHIN 15 FEET OF EXISTING TREE TRUNKS. TRENCHES BEYOND 15 FEET BUT WITHIN THE DRIFTLINES OF EXISTING TREE CANOPIES SHALL BE HAND DUG. NO ROOTS GREATER THAN 1" SHALL BE CUT. ALL ROOTS LARGER THAN 1/2" THAT ARE CUT SHALL BE CLEANLY DRESSED.
 - ALL FINISH GRADES SHALL BE 6" OR MORE BELOW THE TOP OF FOUNDATION - CONTRACTOR TO VERIFY.
 - THE SUBGRADE OF ALL PROPOSED PAVING AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL BE BASEROCK, COMPACTED TO 95%. SEE DETAILS FOR DEPTH OF BASEROCK, AND COMPACTION RECOMMENDATIONS BENEATH TREES.
 - ALL NEW PLANTING AREAS (EXCEPT UNDER EXISTING TREE CANOPIES) SHALL RECEIVE A 2" LAYER OF ORGANIC AMENDMENTS INCORPORATED INTO THE TOP 6" OF SOIL, AS WELL AS A 2" LAYER OF BARK MULCH.
 - ALL PERFORATED PIPES SHALL DRAIN TO SOLID PIPES (UNDER NO CIRCUMSTANCES SHALL A SOLID PIPE BE ALLOWED TO DRAIN INTO A PERFORATED PIPE). ANY VERTICAL CONNECTIONS BETWEEN THE TWO SHALL BE MADE OF SOLID PIPE.
 - ALL DRAINAGE PIPES SHALL BE 4" MIN. SOLID PIPE, SLOPED AT 1/8" MIN (UNLESS OTHERWISE NOTED ON CIVIL PLANS).
 - CONTRACTOR SHALL STABILIZE ANY AREAS THAT HAVE BEEN STRIPPED OF VEGETATION AND MAINTAIN EROSION CONTROL MEASURES BETWEEN OCTOBER 15 - APRIL 15.
 - EROSION CONTROL MEASURES SUCH AS SILT FENCE BARRIERS, STRAW BALE OR WATTLE BARRIERS, SAND BAGS, BRUSH OR ROCK FILTERS, ETC., MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURE THROUGHOUT CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR ANY AND ALL FINES ASSOCIATED WITH THE DISCHARGE OF SEDIMENTS OR POLLUTANTS LEAVING THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY.
 - CONTRACTOR SHALL USE WATERING AND OTHER MEANS TO CONTROL DUST DURING CONSTRUCTION TO PREVENT PUBLIC NUISANCE.

LEGEND & KEY:

SYMBOL	FINISHED FLOOR ELEVATION (PER ARCHITECTURAL PLANS)
TW	PROPOSED SPOT ELEVATION
---	FINISHED SURFACE ELEVATION
---	FINISHED GRADE ELEVATION
---	TOP/BOTTOM OF WALL ELEVATION
---	TOP/BOTTOM OF CURB ELEVATION
---	TOP/BOTTOM OF STEP ELEVATION
---	CONFORM TO EXISTING ELEVATION
---	DIRECTION OF SLOPE
---	DOUNSDROPS
---	LANDSCAPE AREA DRAINS: I.E. 4" Ø NDS ATRIUM GRATE OVER NDS Ø 6"PEE-D BASIN. NOTE: ALL DRAINAGE PER CIVIL
---	CATCH BASIN (N/A)

PRELIMINARY LANDSCAPE LAYOUT PLAN
 1/10" = 1'-0"

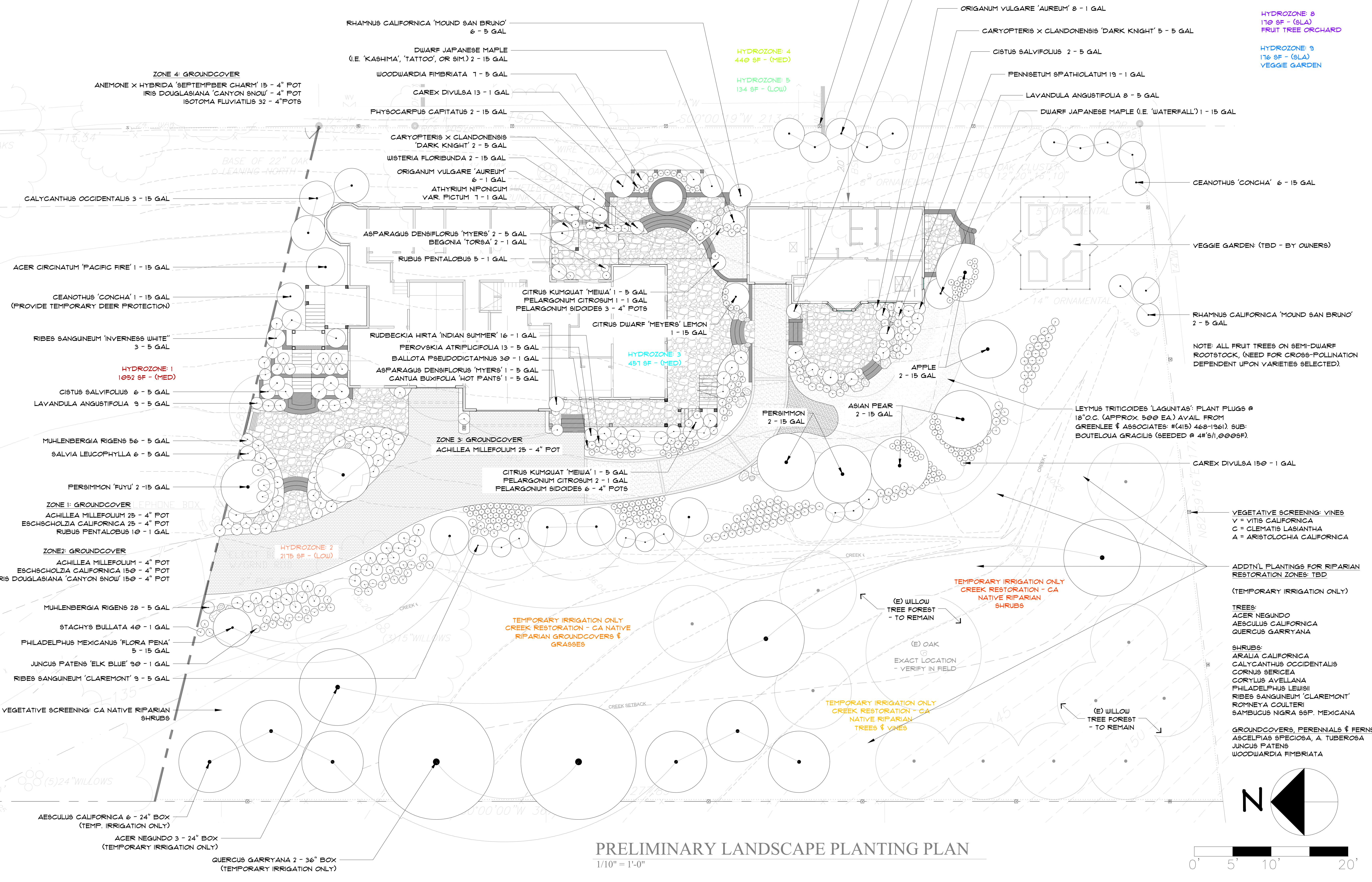


PLANTING LEGEND (SUNSET ZONE 15, USDA 9A) Table with columns: BOTANICAL NAME, COMMON NAME, QTY., SIZE, WUCOLS PLANT FACTOR, NOTES.

Table with columns: Botanical Name, Common Name, Qty., Size, Wucols Plant Factor, Notes. Includes plants like Cantua buxifolia, Magic Flower, Caryopteris x clandonensis, etc.

Table with columns: Botanical Name, Common Name, Qty., Size, Wucols Plant Factor, Notes. Includes plants like Leymus triticoides, Creeping Wild Rye, Muhlenbergia rigens, etc.

Table with columns: Botanical Name, Common Name, Qty., Size, Wucols Plant Factor, Notes. Includes plants like Rubus pentalobus, Emerald Carpet, Creeping Raspberry, etc.



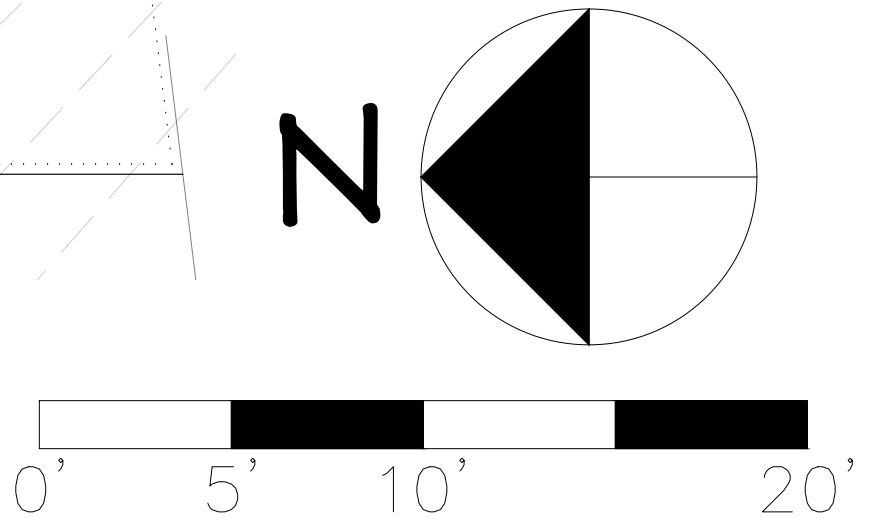
HYDROZONE: 6 212 SF - (MED) FRUIT TREE ORCHARD
HYDROZONE: 1 890 SF - (MED)
HYDROZONE: 8 170 SF - (SLA)
HYDROZONE: 3 176 SF - (SLA)

Table with columns: CHECKED, DRAIN, DESIGNED, DESCRIPTION, DATE, REV. Includes a grid for tracking design and construction phases.

SCHOCH RESIDENCE LANDSCAPE PLAN 163 FIRST STREET SEBASTOPOL, CA 95472 004-112-011

ADDT'L PLANTINGS FOR RIPARIAN RESTORATION ZONES: TBD (TEMPORARY IRRIGATION ONLY) TREES: ACER NEGUNDO, AESCULUS CALIFORNICA, QUERCUS GARRYANA. SHRUBS: ARALIA CALIFORNICA, CALYCANTHUS OCCIDENTALIS, CORNUS SERICEA, CORYLUS AVELLANA, PHILADELPHUS LEWISII, RIBES SANGUINEUM 'CLAREMONT', ROMNEYA COULTERI, SAMBUCUS NIGRA 95F. MEXICANA.

PRELIMINARY LANDSCAPE PLANTING PLAN 1/10" = 1'-0"



IRRIGATION LEGEND:

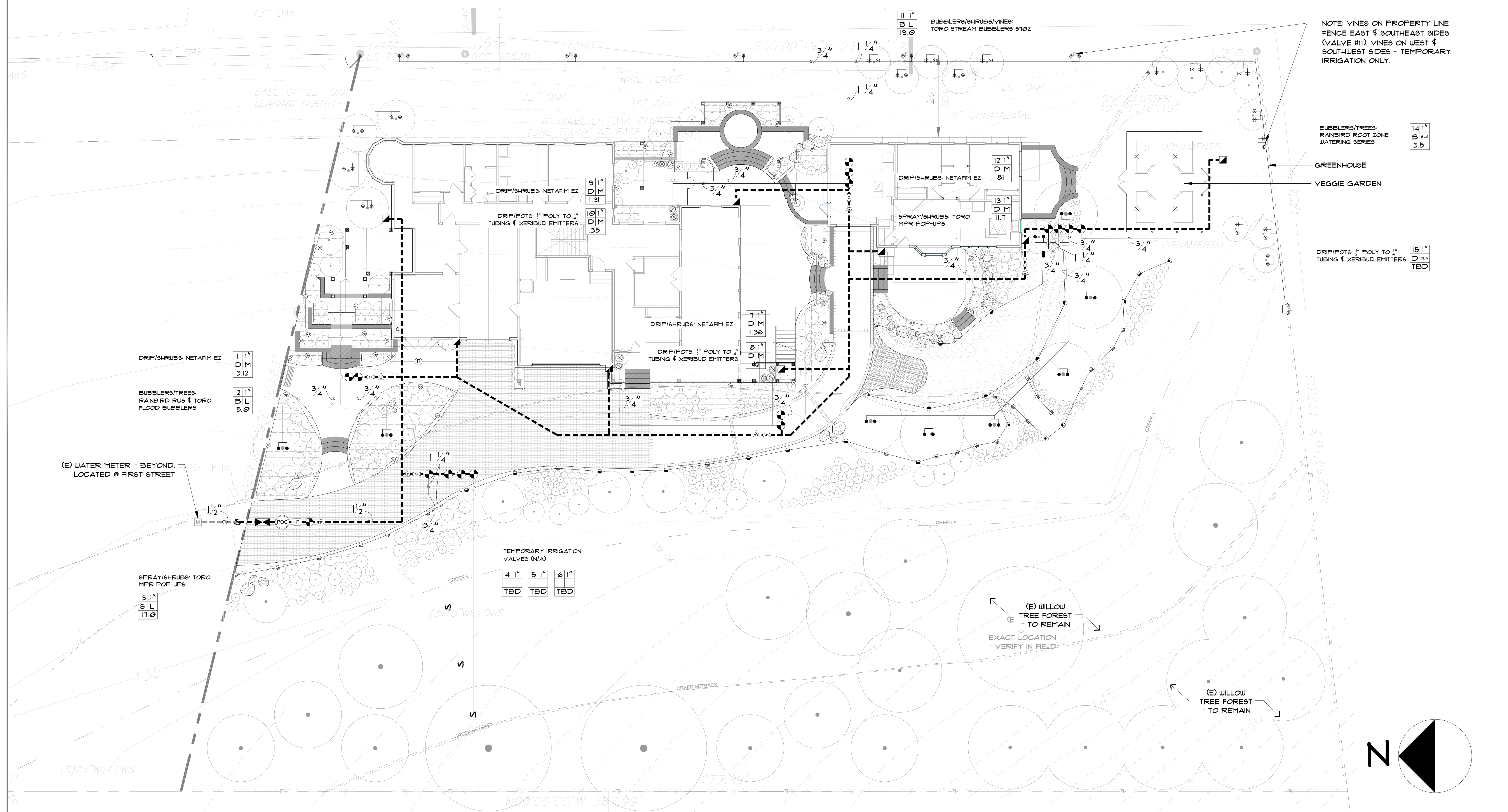
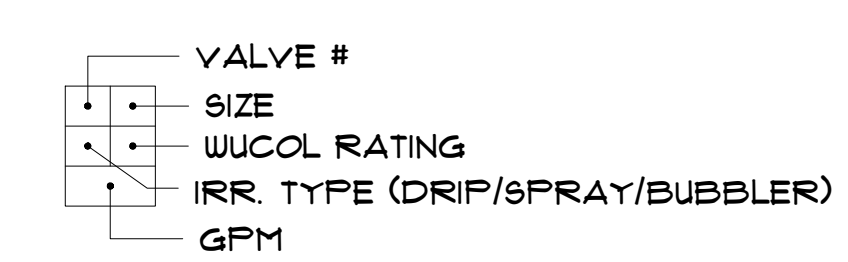
SYMBOL	DESCRIPTION	NOTES
POC	POINT OF CONNECTION:	Approximate Location (Verify in Field). Includes valve box & shut-off valve.
M	WATER METER:	(E) Water Meter : 5/8" (typ.) Located @ First Street w/ 1 1/2" SCH 40 PVC On-Site Service Pipe to Lot.
BP	BACKFLOW PREVENTOR:	FEBCO 825Y - 1" Backflow preventor. Install 12-36" above ground level. Backflow prevention device (refer to local public health agency for addn'l requirements).
F	FILTER:	AMIAD 1-1/2" W/ 120 Mesh SS Woven Wire Screen, 130 Micron (as per Netafim spec.s)
PR	PRESSURE REGULATOR:	TBD Adjust pressure as necessary to achieve 30psi for drip zones for a maximum demand/flow rate of 7-8gpm max for each drip zone.
MV	MASTER VALVE:	Rainbird 100GB - 1" Master Valve Size per line. Includes valve box. Manual gate valve, butterfly valve or ball valve.
FL	FLOW SENSOR:	N/A Req'd for ALL non-residential landscapes.
C	CONTROLLER:	Irritrol Total Control: TC-18EX-R 18-Station Outdoor, Remote Control Ready Controller with CL-100 Wireless Weather Sensing System & SMRT Logic Wireless Gateway app-based controller (or Sim). Exterior or Interior Mount -TBD (provide 120v power) w/ wireless ET Sensor (located on eave O.H.).
R	RAIN-SENSOR:	Irritrol RS 1000 Wireless Rain Sensor (or Sim). Mount on eave.

RCV	REMOTE CONTROL VALVE:	Irritrol 700 Series, size per plan (or Sim). With Omnireg 'OMR-100' Pressure regulation module - in valve box.	With disc filter & PRV for Netafim valves.
QC	QUICK COUPLER:	Rainbird 33DLRC, 3/4" Quick Coupler	
MVB	MANUAL BALL-VALVE:	NIBCO T-FP-600 Brass, Full-Port Ball valve (or Sim). 1" line size.	
ML	MAIN LINE:	1-1/2" PVC SCH 40, 18" MIN. BURIAL	Route through building (per Plumbing Plan).
HB	HOSE BIB:	Champion HB-2. Or Similar. Risers shall be galv. steel, 18" above finish grade, wrapped below grade, and painted to match siding.	Run hose bibs on domestic supply line (per Plumbing Plan) as feasible. (Shown for diagrammatic purposes only).
LL	LATERAL LINE:	PVC CLASS 200, Size Per Plan (3/4" MIN.), 12" MIN. BURIAL	Route through building (per Plumbing Plan). See Irrigation Notes 3/L12.
SH	SPRAY HEADS:	TORO MPR Plus Pop-Up Sprayheads, 6" Pop-Up Bodies	

- TORO 15-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 12-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 10-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 8-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 5-XXX-PC NOZZLE 360°, 210°, 240°, 180°, 120°, 90° ARCS
- TORO 5-555T-PC NOZZLE SIDE STRIP 4' X 18'

TB	TREE BUBBLERS:	Rainbird WS-M-B-C-1401 Root Zone Watering Series Subterranean Bubbler: (2) Per Tree	w/ check valves to prevent low head drainage.
SB	SHRUB BUBBLERS:	TORO 570Z-6P 6" POP-UP w/ FB-50-PC Pressure Compensating Flood Bubbler Nozzle	
DI	DRIP IRRIGATION:	Netafim Techline EZ w/ PVC Supply & Exhaust Headers & Manual Flush Valve	0.4 GPH Dripper (Recommended for Loamy soils), w/ 18" Emitter Spacing & 18" Row Spacing in shrubs.
MFV	MANUAL FLUSH VALVE:	Plumbed to PVC Exhaust Header	
ARV	AIR/VACUUM RELIEF VALVE:	Plumbed to Netafim Techline EZ, at highest point (as per mfr.).	
SO	STUB-OUTS: XERIBUD EMITTERS	Transition from lateral to 3/4" poly blank line to individual loops of 1/2" in-line drip tubing to Xeribud emitters (XB-T-10-PC). See Irrigation Details.	All tubing to be staked @ 3' intervals, and covered w/ mulch.
S	SLEEVING:	PVC SCH. 40, SIZE AS REQ'D (4" MIN.), 12" MIN. BURIAL	

- XERIBUD EMITTERS:**
- 15 GAL 4 EMITTERS
 - 5 GAL 3 EMITTERS
 - 1 GAL 2 EMITTERS
 - 4" POT 1 EMITTERS



NOTE: VINES ON PROPERTY LINE FENCE EAST & SOUTHEAST SIDES (VALVE #11). VINES ON WEST & SOUTHWEST SIDES - TEMPORARY IRRIGATION ONLY.

BUBBLERS/TREES: RAINBIRD ROOT ZONE WATERING SERIES

GREENHOUSE

VEGGIE GARDEN

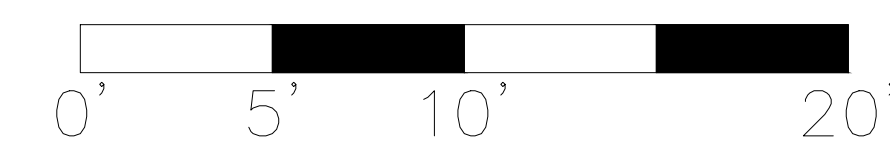
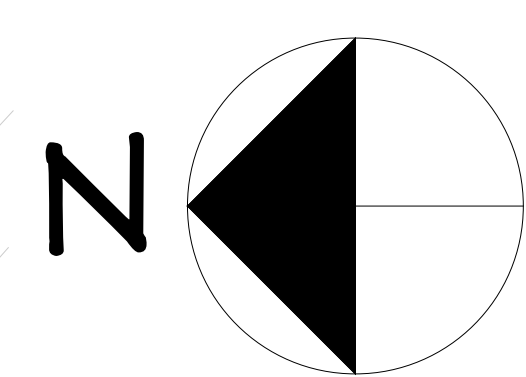
DRIP/POTS: 1" POLY TO 1/2" TUBING & XERIBUD EMITTERS

(E) WATER METER - BEYOND, LOCATED @ FIRST STREET

TEMPORARY IRRIGATION VALVES (N/A)

(E) WILLOW TREE FOREST - TO REMAIN
EXACT LOCATION - VERIFY IN FIELD

(E) WILLOW TREE FOREST - TO REMAIN



PRELIMINARY LANDSCAPE IRRIGATION PLAN

1/10" = 1'-0"

Builder's Studio
OF SEBASTOPOL
555 SO MAIN STREET SUITE 1
SEBASTOPOL, CALIFORNIA 95472
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WWW.BUILDERSSTUDIOINC.COM
CSL: 076243

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
		DESIGN REVIEW SUBMITTAL	JN	JN	MS

SCHOCH RESIDENCE LANDSCAPE PLAN

1163 FIRST STREET
SEBASTOPOL, CA 95472
004-112-017

PRELIMINARY LANDSCAPE IRRIGATION PLAN

SHEET **L3.0**

PDF DATE **05/13/2021**

MAWA & ETWU: PRELIMINARY WATER USE CALCULATIONS

WELO Water Budget and Water Use Calculator						
INSTRUCTIONS: 1. Enter values in blue cells. Gray cells will automatically fill. 2. For flow units to be consistent, all flow calculations should have the same units. 3. For flow units to be consistent, all flow calculations should have the same units. 4. Print this sheet and submit with Landscape Document Package for the Comprehensive Performance Compliance Pathway.						
Date: 12/12/2021						
Project Name: SCHOCH RESIDENCE LANDSCAPE						
Project Contact: JESSICA NORLING						
Project Contact Email: JESSICANORLING@SEBASTOPOL.COM						
Maximum Applied Water Allowance (MAWA)	Project Type	ETa	Special Landscape Area (SLA)	Total Landscape Area Including SLA	MAWA (GPD)	
	Residential	43.0	348	5,760	86,635	
WWW.ETWU.COM 800.397.6141 (415) 747-1841						
Estimated Total Water Use (ETWU)	ETa	(SF * PF) / IE	SLA	ETWU (GPD)		
	43.0	2,332	348	70,788		
Difference between MAWA and ETWU					15,847	
Project meets water budget.						
ETWU Calculator (Regular Landscape Area)	Zone #	Description	Source Feet (SF)	Plant Factor (PF)	Irrigation Efficiency (IE)	(SF * PF) / IE
	1	FRONT ENTRY	1,052	0.40	0.81	520
	2	TURF GRASS	2,170	0.30	0.75	870
	3	WALKWAY	457	0.40	0.81	228
	4	SPRINKLER	440	0.40	0.81	217
	5	PLANTING	134	0.30	0.81	50
	6	DECK PATIO	272	0.40	0.81	134
	7	DECK PATIO	890	0.30	0.75	356
	8					
	9					
Landscape area (not including SLA)			5,420			2,332
ETWU Calculator (Special Landscape Area (SLA))	Description	Source Feet (SF)	Plant Factor / Irrigation Efficiency (PF/IE)	(SF * PF) / IE		
	Edible planting area	348	1.0	348		
	Mulch and special soil area		1.0			
	Area irrigated with recycled water		1.0			
	Total SLA	348	1.0	348		
Total Landscape Area (including SLA) from ETWU Calculation			5,760			

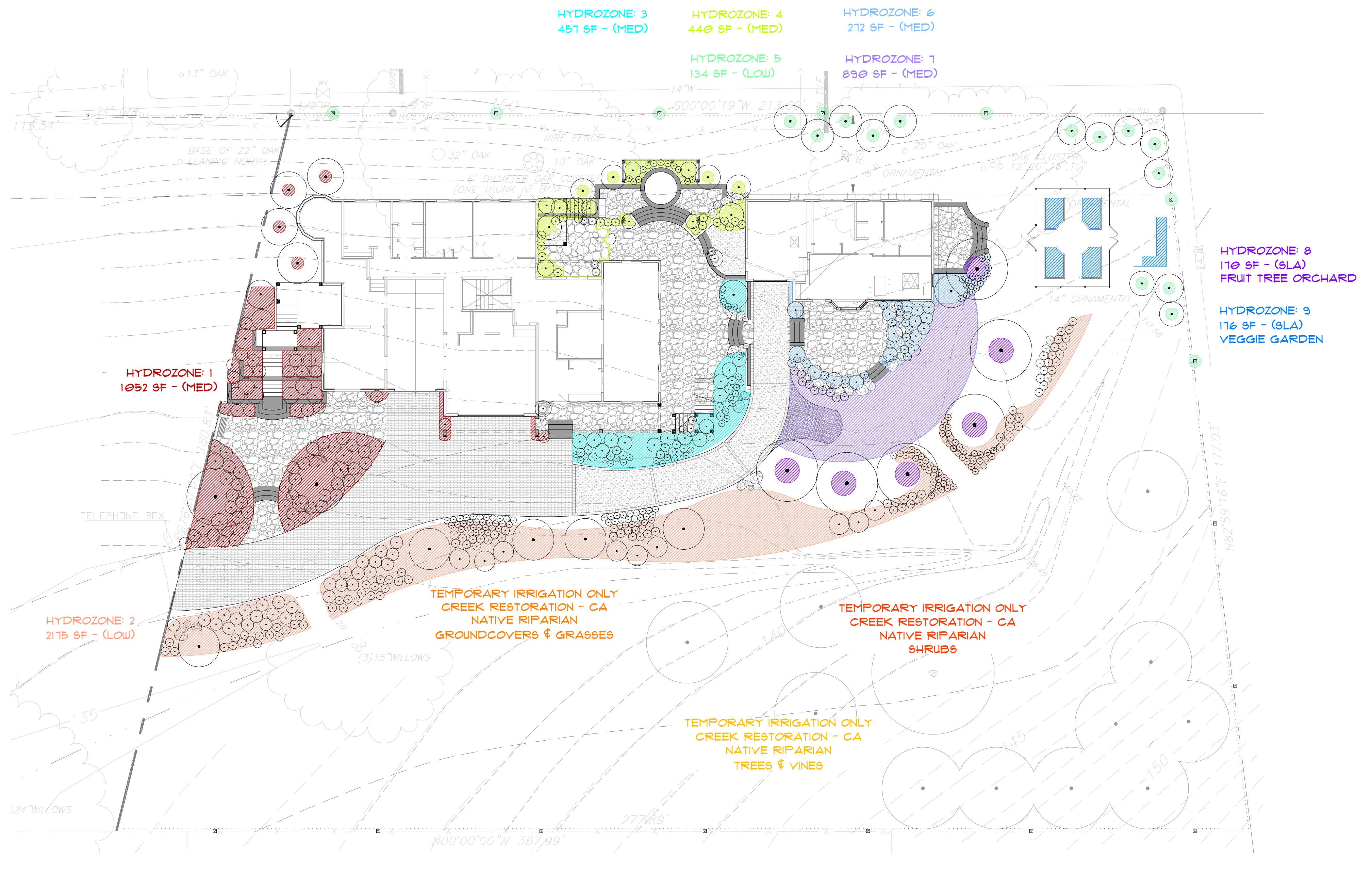
IRRIGATION NOTES

TOTAL LANDSCAPE AREA: 6,064 SF
 WATER SUPPLY TYPE: POTABLE
 LOCAL WATER PURVEYOR: CITY OF SEBASTOPOL
 DEDICATED SERVICE METER OR PRIVATE SUB-METER: EXISTING (8' FIRST ST.)
 STATIC WATER PRESSURE: +/- 50-64 PSI
 OPERATING WATER PRESSURE/RESIDUAL WATER PRESSURE: +/- 48-61 PSI
 (NEAREST RECORDED ADDRESS - AS PER WATER SUPPLIER/ CITY OF SEBASTOPOL PUBLIC WORKS DEPT.)

- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. THIS SYSTEM IS DESIGNED BASED ON AN APPROXIMATE OPERATING PRESSURE OF 50 PSI. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES ONCE VERIFIED IN FIELD. (IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A MIN. OF 15-30 PSI PER DRIP VALVE, AND A MAX. FLOW RATE OF 7-8 GPM PER DRIP VALVE).
- ALL WORK SHALL CONFORM TO LOCAL PLUMBING & ELECTRICAL CODES.
- WATER LINES AND EQUIPMENT SHOWN IN PAVING (OR WITHIN BLDG.) ARE FOR GRAPHIC CLARITY ONLY, UNLESS OTHERWISE SPECIFIED. ALL EQUIPMENT SHALL BE LOCATED IN DESIGNATED PLANTING AREAS (TBD). ALL PIPING LOCATED WITHIN PAVING SHALL INCLUDE PROPERLY SIZED SLEEVING AND SHALL BE STRAIGHT-LINE W/ NO CONNECTIONS.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- CONTRACTOR SHALL FLUSH ALL LINES THOROUGHLY PRIOR TO INSTALLATION OF EMITTERS, AND INCLUDE A WHOLE-SYSTEM FILTER.
- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

PLANTING NOTES

- CALL USA NORTH AT 811 PRIOR TO ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO EXCAVATION.
- EXISTING TREES & PLANT PROTECTION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING PLANTS & SHRUBS LABELED AS "TO REMAIN". EXTREME CARE SHALL BE EXERCISED IN PROTECTING ALL HERITAGE TREES AND EXISTING LARGE OAK TREES (AS INDICATED ON THE UPDATED SURVEY PLANS).
- GRADING: ALL LANDSCAPE AREAS SHALL BE GRADED TO HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES (MIN. SLOPES AS PER CA BLDG. CODE); GRADED TO BLEND IN WITH SURROUNDING GRADES, AND TO PREVENT FLOODING. ROUGH-GRADING IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE PRIOR TO INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS - PRIOR TO INSTALLING SOIL AMENDMENTS.
- SOIL REPORT: AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL SUBMIT SOIL SAMPLES (NO LESS THAN ONE QUART OF SOIL PER SAMPLE) TO BE TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. (PROJECT PLANT LIST SHALL BE SUBMITTED TO SOIL LABORATORY WITH SAMPLES). RECOMMENDATIONS SHALL INCLUDE: GENERAL SOIL PREPARATION, COMPOST AND TOPSOIL, FERTILIZER RECOMMENDATIONS (PRIOR TO PLANTING, DURING ESTABLISHMENT, AND FOR LONG-TERM MAINTENANCE), AND ANY OTHER SOIL RELATED ISSUES. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY: THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF (INCL. NO-MOW): INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
 - AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 9" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER - 10 LBS PER CU. YD.
 - AGRICULTURAL GYPSUM - 10 LBS PER CU. YD.
 - IRON SULFATE - 2 LBS PER CU. YD.
- COMPOST: (AS PER SOIL REPORT RECOMMENDATIONS) FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST @ A RATE OF 4CY (MIN) PER 1,000SF OF PLANTING AREA - INCORPORATED TO A DEPTH OF 6". COMPOST SHALL BE FULLY COMPOSTED, STABLE, WEED-FREE, PH RANGE 5.5 - 8 WITH NO TOXIC SUBSTANCES. (GRAB N' GROW ORGANIC COMPOST" - OR SIMILAR, PH: #(10) 515-1215).
- TOPSOIL: (AS PER SOIL REPORT RECOMMENDATIONS) SHALL BE CERTIFIED SEED-FREE SANDY TO CLAY LOAM, FREE OF STONES OR ORGANIC DEBRIS LARGER THAN 1/2".
- FERTILIZER: (AS PER SOIL REPORT RECOMMENDATIONS) COMPOSITION AND RATE AS PER RECOMMENDATIONS OF SOIL TEST REPORT (FROM QUALIFIED SOIL TESTING AGENCY).
- PLANTS: IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE. SUPPLY NURSERY-GROWN PLANTS IN COMPLIANCE WITH ANSI Z601. ALL PLANTS SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT FOR HEALTH AND VIGOR PRIOR TO ACCEPTANCE. IF ROOT SYSTEMS ARE FOUND TO BE UNHEALTHY IN ANY WAY UPON PLANTING A RETURN ORDER MUST BE COMPILED FOR RETURN TO THE GROWER (AT NO EXPENSE TO THE CLIENT). ALL CONTAINER AND BALLED-AND-BURLAPPED PLANTS SHALL BE PLANTED PER THE PLANTING DETAILS. WHERE HARDPAN, BEDROCK, EXCESSIVELY COMPACTED SOIL, OR OTHER IMPERMEABLE MATERIALS ARE ENCOUNTERED DURING EXCAVATION OF PLANTING FITS FOR TREES AND SHRUBS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY. THE LANDSCAPE ARCHITECT MAY PROVIDE ALTERNATE METHODS OR LOCATIONS FOR PLANTING TREES AND SHRUBS. ALL FINAL PLANT LOCATIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANT HOLES.
- MULCH: A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. ("ORGANIC ARBOR MULCH" - OR SIMILAR, GRAB N' GROW SOIL PRODUCTS, PH: #(10) 515-1215). "DOUBLE-GROUND" PREFERRED FOR FIRE PREVENTION. ALL NON-TURF PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- STEEL EDGING: AT EDGES OF GRAVEL PATHS OR TURFGRASS NOT BOUND BY HARDSCAPE, SHALL BE 1/2" X 4" WIDE. DO NOT USE STEEL EDGING AT FLAGSTONE STEPPING STONES.
- WATER FEATURES: N/A
- ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODES.
- GENERAL CLEAN-UP: DURING EXTERIOR PLANTING, KEEP ADJACENT PAVING AND WORK AREAS IN CLEAN AND ORDERLY CONDITION. REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY (OR AS DIRECTED BY OWNER).
- FINAL ACCEPTANCE:
 - UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, THAT THE OWNER PERFORM A FINAL INSPECTION. THE OWNER SHALL SCHEDULE A FINAL INSPECTION WITH THE CONTRACTOR TO ENSURE THAT ALL WORK HAS BEEN COMPLETED ACCORDING TO THE PLANS. THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE OWNER HAS PROVIDED WRITTEN ACCEPTANCE OF THE WORK.
 - IF THE OWNER DEEMS THAT ANY PORTION OF THE WORK IS UNACCEPTABLE, THE CONTRACTOR SHALL REPAIR OR REPLACE, AT THE CONTRACTOR'S EXPENSE, THOSE PORTIONS DEEMED UNACCEPTABLE TO ENSURE THAT ALL WORK IS IN COMPLIANCE WITH THE PLANS.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) COPIES OF "AS-BUILT" RECORD DRAWINGS TO THE OWNER. "AS-BUILT" DRAWINGS SHALL CONSIST OF COPIES OF THE ORIGINAL PLANS WITH ALL CHANGES THAT OCCURRED DURING CONSTRUCTION MARKED ON THEM IN A PERMANENT FASHION USING RED INK.
- 90 DAY MAINTENANCE PERIOD: THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE BY THE OWNER. THIS SHALL INCLUDE WEEKLY VISITS FOR THE FOLLOWING TASKS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE IRRIGATION SYSTEM SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION.
- 1-YR. QUALITY GUARANTEE: THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME DUE TO CAUSES OTHER THAN OVERWATERING OR OTHER HUMAN ACTIONS DURING THE INTERIM, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. ALL TREE STAKES SHALL BE REMOVED AFTER ONE YEAR, EXCEPT IN AREAS THAT EXPERIENCE HEAVY WINDS.



HYDROZONE MAP:
1/16" = 1'-0"

Builders Studio
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 CSL: 072643

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED
		DESIGN REVIEW SUBMITTAL	JUN	JUN	MRS

**SCHOCH RESIDENCE
 LANDSCAPE PLAN**

163 FIRST STREET
 SEBASTOPOL, CA 95472
 004-112-011

PRELIMINARY
 WATER USE
 CALCULATIONS

SHEET
L4.0

PDF DATE: 05/13/2021

CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.



1 MAIN RESIDENCE FRONT ELEVATION

NOTE: FOR INFORMATION NOT NOTED PLEASE REFER TO ARCHITECTURAL OR LANDSCAPE SHEETS AND ACCOMPANYING NOTES FOR ADDITIONAL DETAILS REGARDING FINISHES, MATERIALS, LOCATIONS AND HEIGHTS.

FOR '1E' PLEASE SEE ATTACHED SEPARATELY 8.5X11 CUT-SHEETS FOR BULB AND SENSOR INFORMATION.

PLEASE NOTE A CHANGE IN MATERIALS MAY REQUIRE RESUBMITTAL AND REVIEW FROM PLANNING BEFORE BUILDING PERMIT CAN BE FINALIZED.



1E EXTERIOR LIGHT FIXTURE
W/ TESLAR OR EQUIVELANT LED BULB 4.5 WATTS (3) PER FIXTURE



WITH OR WITHOUT CAP PER LANDSCAPE DRAWINGS



'New England' STONE VENEER OVER CONCRETE

1L RETAINING & LANDSCAPE WALLS
SEE LANDSCAPE PLANS FOR LOCATIONS



A SIDING STYLE - 'James Hardie' Horizontal Siding
'JH' HORIZONTAL V-GROOVE SIDING



B LOWER SIDING - Stone Veneer
'New England' Stone



C WINDOW STYLE
'MARVIN' ELEVATE - WHITE



D BASE COLOR
Sherwin-Williams 'Vanillin' SW6371



E SPA TRELLIS STAIN
SEE ARCHITECTURAL PLANS FOR TRELLIS LOCATION



F TRIM - TRELLIS - RAILING COLOR
Sherwin-Williams Ceiling Bright White SW 7007



G DOOR COLOR
Sherwin-Williams Festoon Aqua SW 0019



H ROOFING - Asphalt Shingle
Dark Grey w/ 'Architctural' Shingle



Idaho Gold Quartzite
(Only at lower level steps & Patios)



'Road' TILE at steps and porch decks

I PATIO AND STAIR SURFACE
SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR LOCATIONS



MAIN DRIVEWAY (Permeable)
Techo-Bloc 'Pure' Paver in Sandlewood color (Or Similar)



TURN AROUND AT ADU
Lunix Eco permeable pavement (Or Similar)

J DRIVEWAY SURFACE
SEE LANDSCAPE PLANS FOR PAVER DESIGNATIONS & LOCATIONS

SCHOCH RESIDENCE
New Residence and ADU
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

DATE: 5/13/21

Sheet

A-DR1

Scale

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

SCHOCH RESIDENCE
New Residence and ADU
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

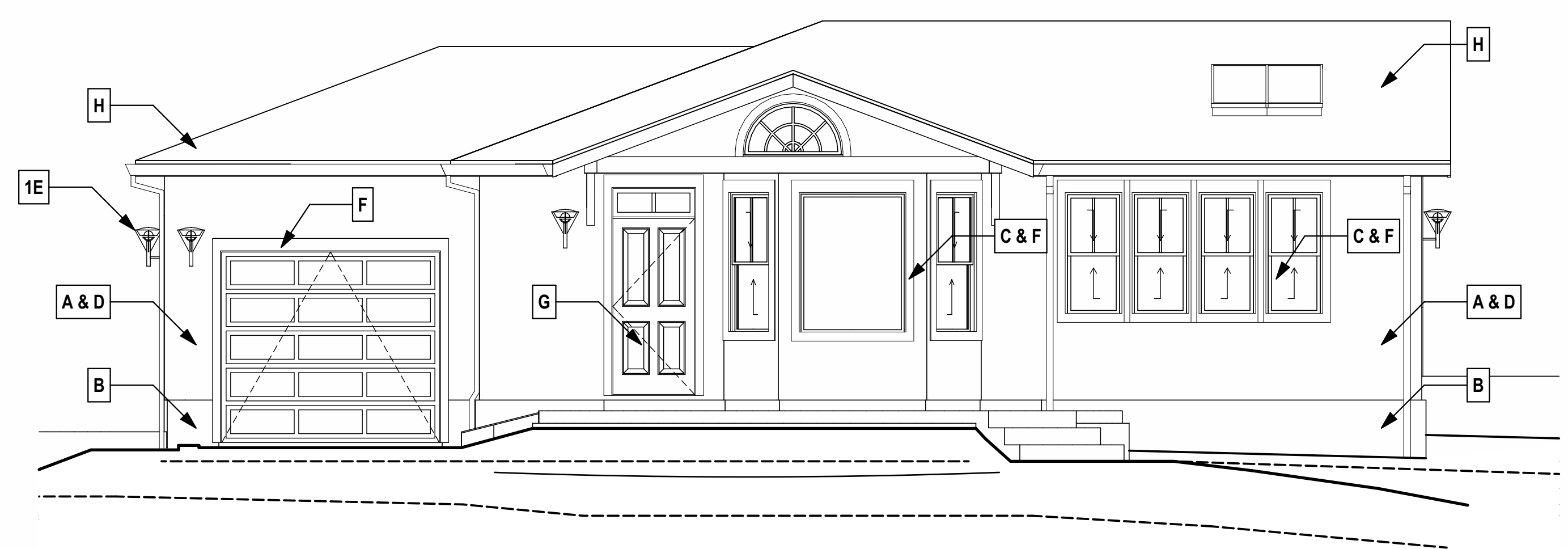
DATE: 5/13/21

Sheet
A-DR2
Scale

NOTE: FOR INFORMATION NOT NOTED PLEASE REFER TO ARCHITECTURAL OR LANDSCAPE SHEETS AND ACCOMPANYING NOTES FOR ADDITIONAL DETAILS REGARDING FINISHES, MATERIALS, LOCATIONS AND HEIGHTS.

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1 ACCESSORY DWELLING UNIT FRONT ELEVATION



1E EXTERIOR LIGHT FIXTURE
W/ TESLAR OR EQUIVELANT LED BULB 4.5 WATTS (3) PER FIXTURE

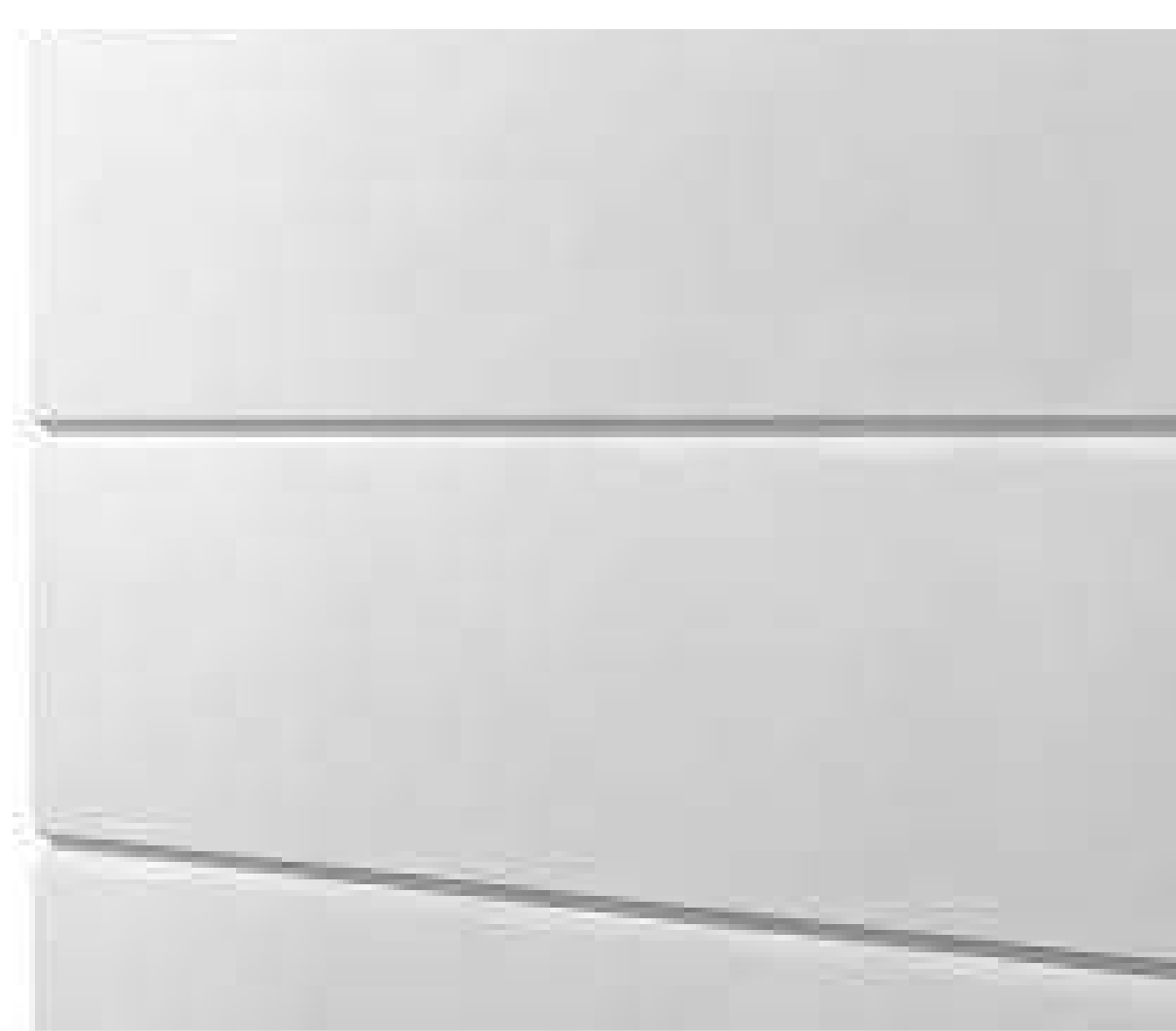


WITH OR WITHOUT CAP PER LANDSCAPE DRAWINGS



'New England' STONE VENEER OVER CONCRETE

1L RETAINING & LANDSCAPE WALLS
SEE LANDSCAPE PLANS FOR LOCATIONS



A SIDING STYLE - 'James Hardie' Horizontal Siding
'JH' HORIZONTAL V-GROOVE SIDING



B LOWER SIDING - Stone Veneer
'New England' Stone



C WINDOW STYLE
'MARVIN' ELEVATE - WHITE



D BASE COLOR
Sherwin-Williams 'Vanillin' SW6371



E SPA TRELIS STAIN
SEE ARCHITECTURAL PLANS FOR TRELIS LOCATION



F TRIM - TRELIS - RAILING COLOR
Sherwin-Williams Ceiling Bright White SW 7007



G DOOR COLOR
Sherwin-Williams Festoon Aqua SW 0019



H ROOFING - Asphalt Shingle
Dark Grey w/ 'Architctural' Shingle



Idaho Gold Quartzite
(Only at lower level steps & Patios)



'Road' TILE at steps and porch decks

I PATIO AND STAIR SURFACE
SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR LOCATIONS



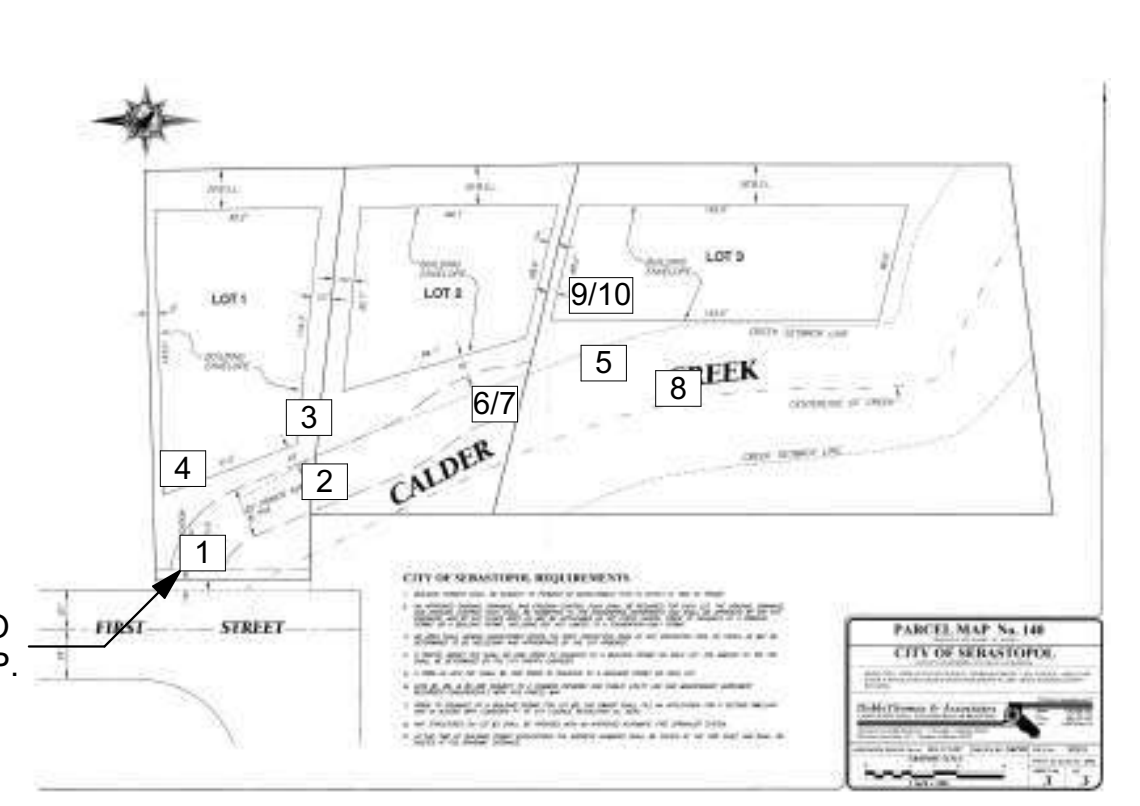
ADU DRIVEWAY
3/8" ANGULAR CRUSHED GRANITE W/ EDGE



TURN AROUND AT ADU
Lunix Eco permeable pavement (Or Similar)

J DRIVEWAY SURFACE
SEE LANDSCAPE PLANS FOR PAVER DESIGNATIONS & LOCATIONS

NOTE: PHOTOS TAKEN ONSITE 4/27/2021 AT APPROXIMATELY 3:30PM ON A SUNNY AND CLEAR DAY.



APPROXIMATE PHOTO LOCATION, TYP.

LOCATION MAP

Builders Studio
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 www.BUILDERSSTUDIOINC.com
 CSL: 878243

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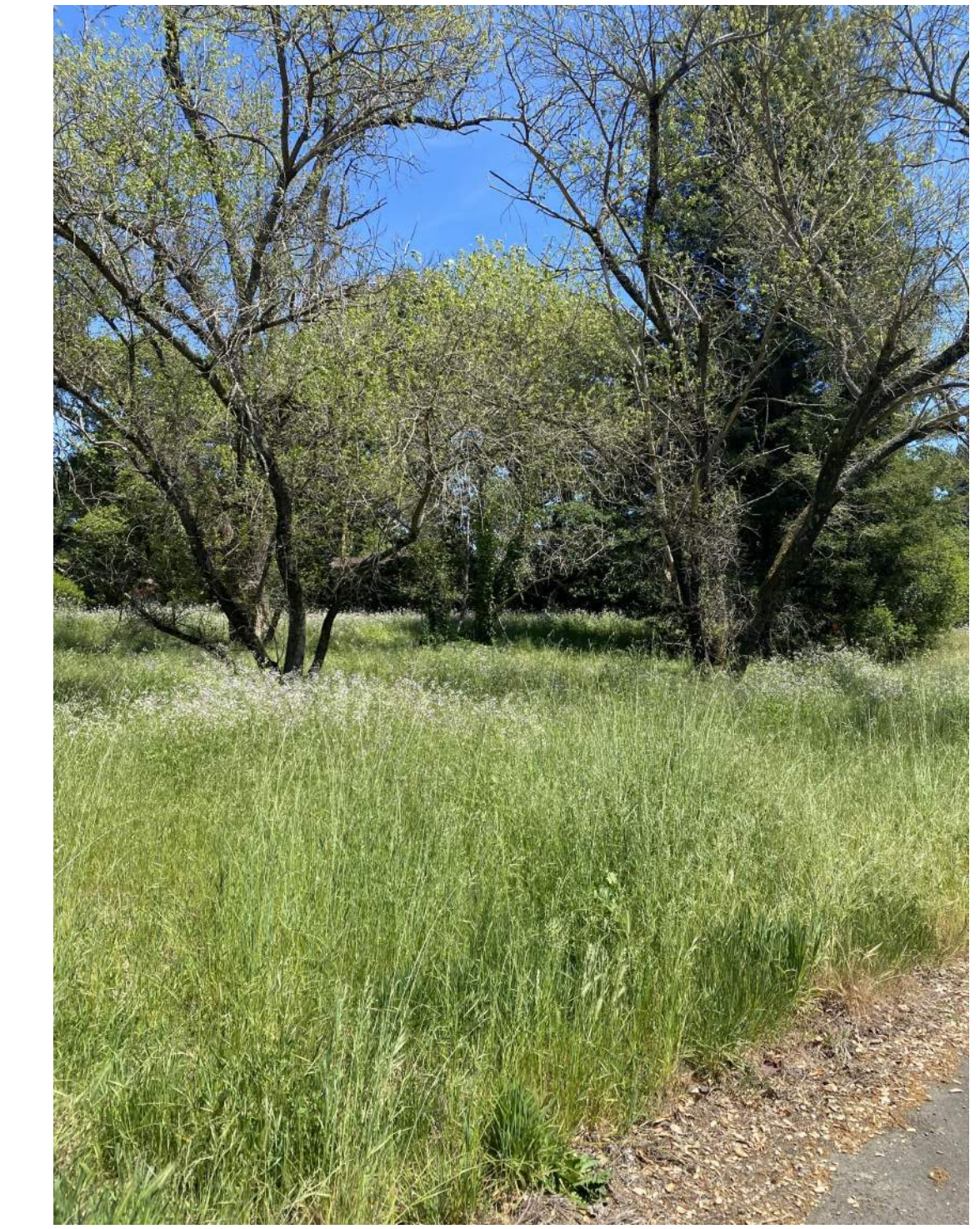
REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



1 PROPERTY ENTRANCE



2 EXISTING ASPHALT DRIVEWAY (SOUTH)



3 EXISTING VEGETATION AND TREES



4 EXISTING NORTH PROPERTY LINE



5 PROPOSED PROJECT LOCATION



6 EXISTING ASPHALT DRIVEWAY (NORTH)



7 END OF (E) DRIVEWAY



8 PROPOSED PROJECT LOCATION (SOUTH)



9 PROPOSED PROJECT LOCATION (S/E)



10 PROPOSED PROJECT LOCATION (SOUTH)

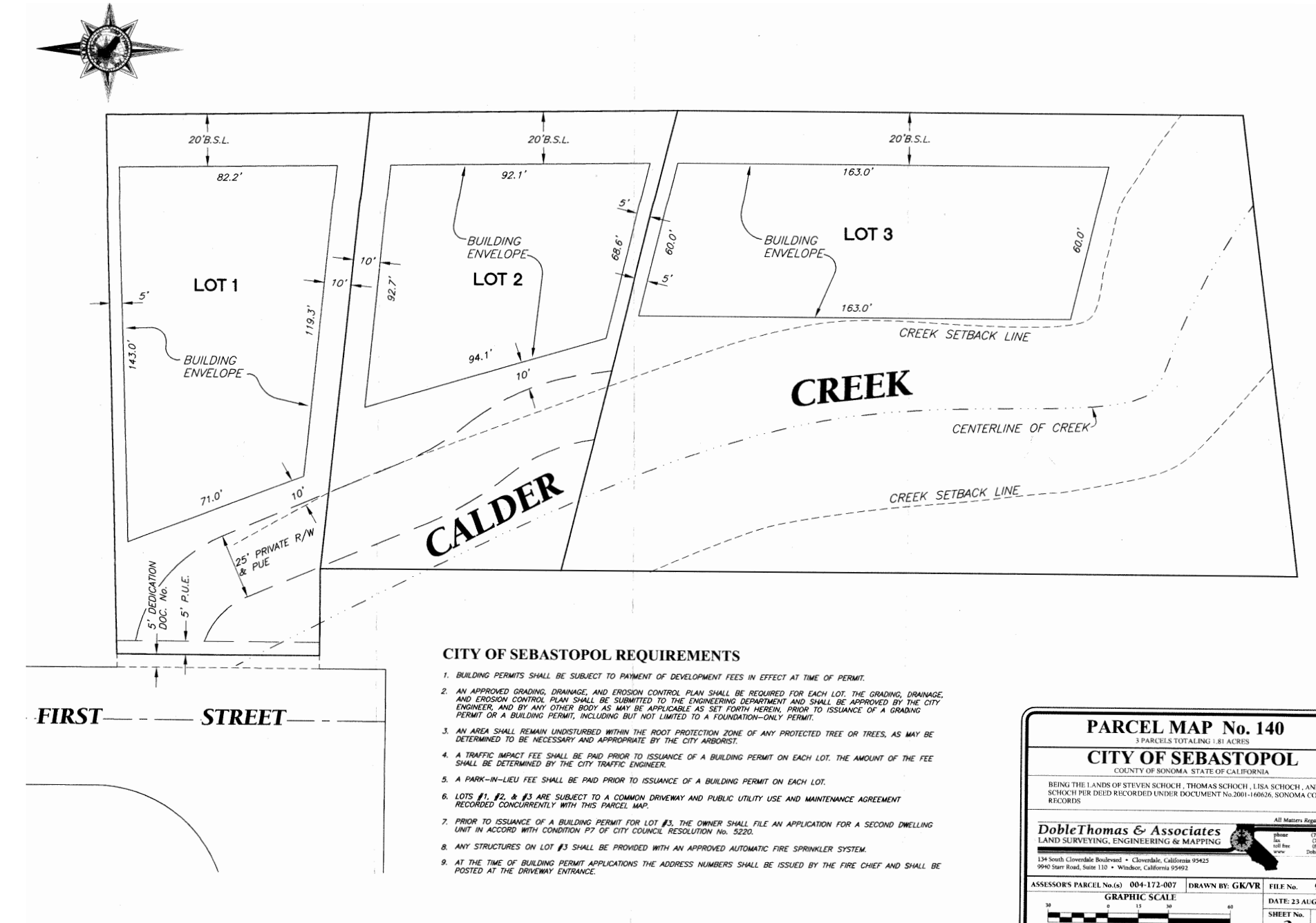
SCHOCH RESIDENCE
 New Residence and ADU
 7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

DATE: 5/13/21

Sheet
A-DR3

Scale

- SUMMARY SCOPE OF WORK:
NEW RESIDENCE AND ADU**
1. Locate and construct a new two-story home including garage, workshop, storage
 2. Locate and construct a new one-story ADU including garage and storage
 3. Grading, landscaping, utilities for new residence and ADU
 4. Tree removal of one existing dying oak tree per arborist report
 5. Preserving and pruning of existing oaks per arborist report

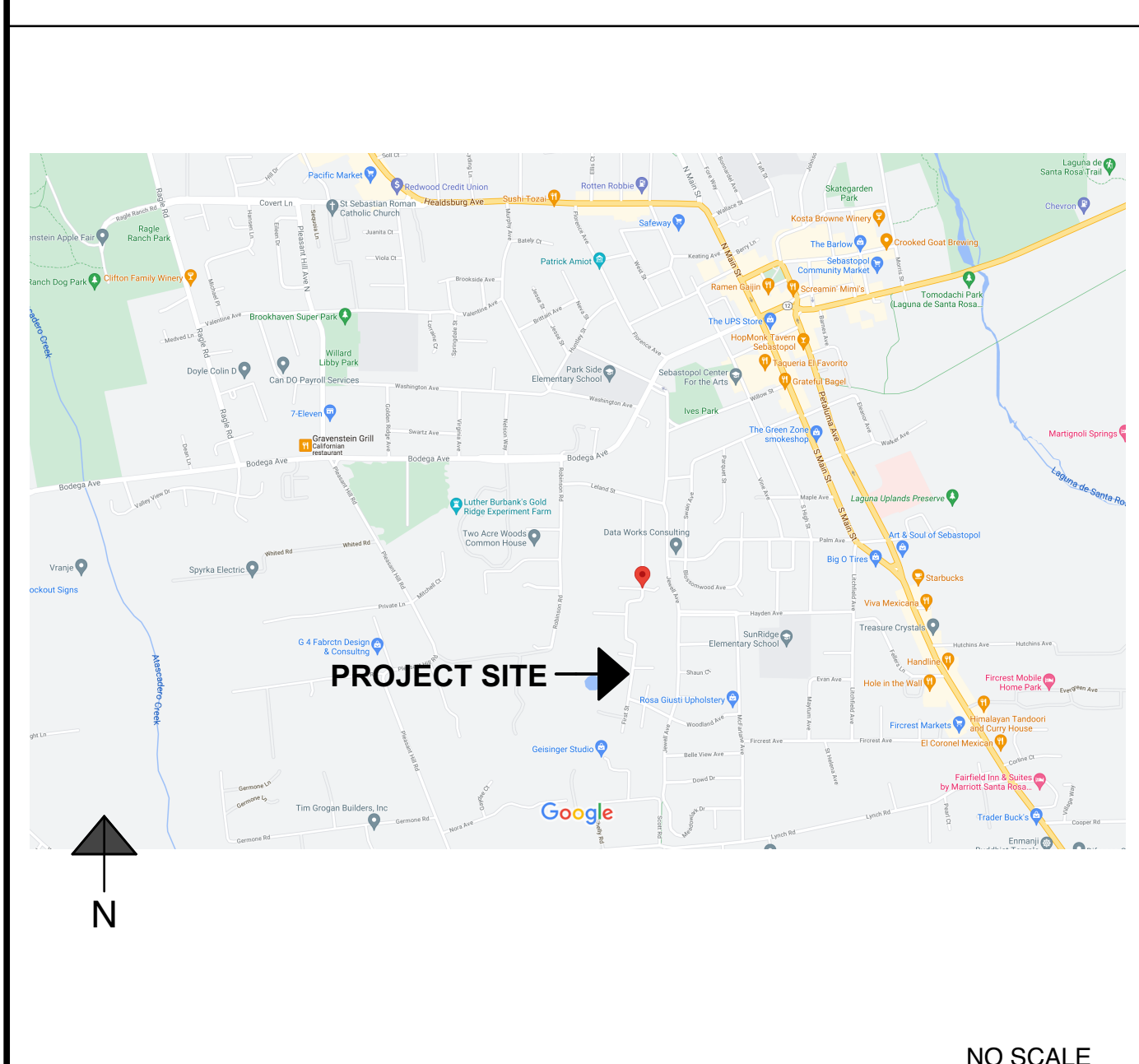


PARCEL MAP No. 140
CITY OF SEBASTOPOL
COUNTY OF SONOMA, STATE OF CALIFORNIA

Doble Thomas & Associates
COUNTY CLERK
COMMERCIAL DIVISION

ARCHITECT: Gregory Beale
DATE: 11/12/2019
SCALE: 3" = 30'

LOTS WITH BUILDING ENVELOPES 1"=50'-0"



Arborist: Chip Sandborn Sandborn Tree Service, Inc. 119 Morris Street Sebastopol, CA 95472 (707) 823-9144	Owner: Steven and Rose Schoch 974 Bluebonnet Drive Sunnyvale, CA 94086 (408) 732-4479	A.P. Number: 004-172-017	Area Tabulations:	Main Floor: 2,967 SF (conditioned floor area) Lower Floor: 1,010 SF (conditioned floor area) New House: 3,977 SF (both floors conditioned floor area) Garage 1: 398 SF Garage 2: 530 SF Workshop: 248 SF Storage: 112 SF Lower Floor Garage/Shop/Storage: 1,288 SF (total unconditioned space) Combined Lower Level: 2,298 SF Covered Patio: 1,011 SF New ADU Conditioned Floor Area: 801 SF New ADU Garage: 306 SF Combined Floor Area: 1,107 SF New House Footprint: 4,668 SF (includes porches/stairs >= 30" & main floor overhangs) New ADU Footprint: 1,319 SF (includes stairs, patios >= 30")	Architect: Marilyn Standley Builders' Studio of Sebastopol 555 So Main Street, Ste 1 Sebastopol, CA 95472 (707) 829-3226	Site Location: 7XX First Street Sebastopol, CA 95472	Occupancy: Group R, Div. 3	Code: 2019 CBC, 2019 CRC, 2019 CalGreen Code, 2019 California Energy Code Supplement	Construction: Type VB, Non-rated	Contractor: Thrive Construction Gregory Beale 555 South Main Street, Ste 1 Sebastopol, CA 95472 (707) 481-9941 (cell)	Landscaper: Builders' Studio of Sebastopol Gregory Beale 555 So Main Street, Ste 1 Sebastopol, CA 95472 (707) 481-9941 (cell)	<ul style="list-style-type: none"> A-1 Project Summary, Plot Plan, Project Data A-2 Lot Plan A-3 Site Plan A-4 House Main Floor Plan A-5 House Lower Level Floor Plan A-6 House Roof Plan A-7 House Exterior Elevations A-8 House Exterior Elevations A-9 House Sections A-10 House Sections A-11 House Sections A-13 ADU Floor Plan, Roof Plan, Schedules A-14 ADU Exterior Elevations A-15 ADU Sections C-0.0 Cover Sheet C-1.0 Grading Plan and Earthwork C-2.0 Cross Sections C-3.0 Utility Plan <p>L-Sheets are Large Format 30x42 L-1.0 Landscape Layout Plan L-2.0 Landscape Preliminary Planting Plan L-3.0 Landscape Preliminary Irrigation Plan L-4.0 Landscape Preliminary Water Use Calculations</p>		
Civil Engineer: LACO Associates Chad Mosier PE, PLS 3490 Regional Pkwy Santa Rosa, CA 95403 (707) 525-1222	Site Area: 0.99 Acres/ 43,181 SF	Construction: Type VB, Non-rated	New House Footprint: 4,668 SF New ADU Footprint: 1,319 SF	Code: 2019 CBC, 2019 CRC, 2019 CalGreen Code, 2019 California Energy Code Supplement	Site Area: 0.99 Acres/ 43,181 SF	Occupancy: Group R, Div. 3	Code: 2019 CBC, 2019 CRC, 2019 CalGreen Code, 2019 California Energy Code Supplement	Construction: Type VB, Non-rated	Contractor: Thrive Construction Gregory Beale 555 South Main Street, Ste 1 Sebastopol, CA 95472 (707) 481-9941 (cell)	Landscaper: Builders' Studio of Sebastopol Gregory Beale 555 So Main Street, Ste 1 Sebastopol, CA 95472 (707) 481-9941 (cell)	Site Coverage: Existing: 0 SF Proposed: 5,987 SF TOTAL LOT COVERAGE = 13.8%	Construction: Type VB, Non-rated	Contractor: Thrive Construction Gregory Beale 555 South Main Street, Ste 1 Sebastopol, CA 95472 (707) 481-9941 (cell)	Landscaper: Builders' Studio of Sebastopol Gregory Beale 555 So Main Street, Ste 1 Sebastopol, CA 95472 (707) 481-9941 (cell)



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SCHOCH RESIDENCE
New Residence and ADU

7xx First Street • SEBASTOPOL • CALIFORNIA • 95472



DATE: 10-25-22

Sheet
A-1

Scale

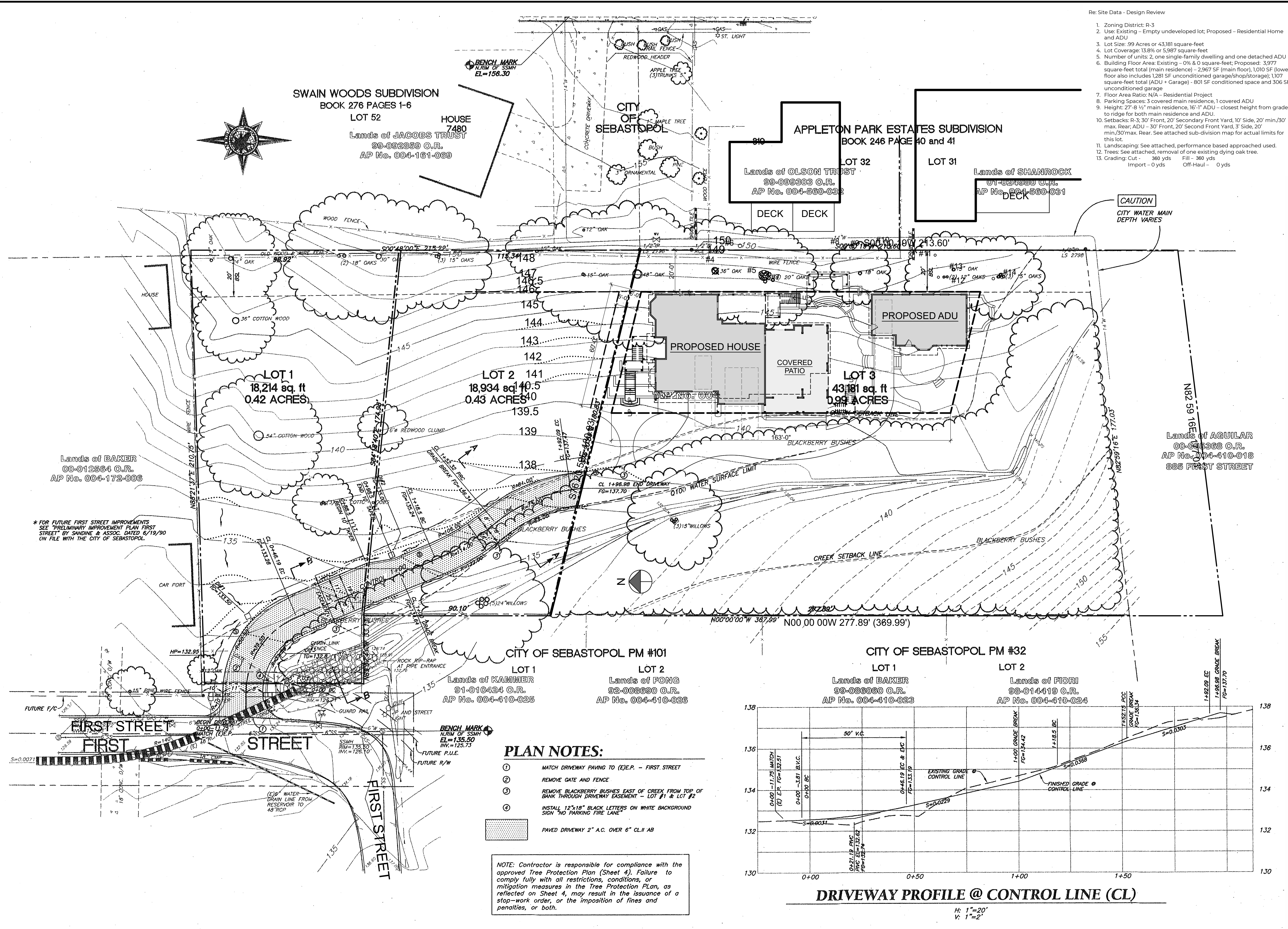
Re: Site Data - Design Review

1. Zoning District: R-3
2. Use: Existing - Empty undeveloped lot; Proposed - Residential Home and ADU
3. Lot Size: .99 Acres or 43,181 square-feet
4. Lot Coverage: 13.8% or 5,957 square-feet
5. Number of Units: 2, one single-family dwelling and one detached ADU
6. Building Floor Area: Existing - 0% & 0 square-feet; Proposed: 3,977 square-feet total (main residence) - 2,967 SF (main floor), 1,010 SF (lower floor also includes 1,281 SF unconditioned garage/shop/storage); 1,107 square-feet total (ADU + Garage) - 801 SF conditioned space and 306 SF unconditioned garage
7. Floor Area Ratio: N/A - Residential Project
8. Parking Spaces: 3 covered main residence, 1 covered ADU
9. Height: 27'-8 1/2" main residence, 16'-1" ADU - closest height from grade to ridge for both main residence and ADU
10. Setbacks: R-3: 30' Front, 20' Secondary Front Yard, 10' Side, 20' min./30' max. Rear; ADU - 30' Front, 20' Second Front Yard, 3' Side, 20' min./30' max. Rear. See attached sub-division map for actual limits for this lot.
11. Landscaping: See attached, performance based approach used.
12. Trees: See attached, removal of one existing dying oak tree.
13. Grading: Cut - 360 yds Fill - 360 yds Import - 0 yds Off-Haul - 0 yds

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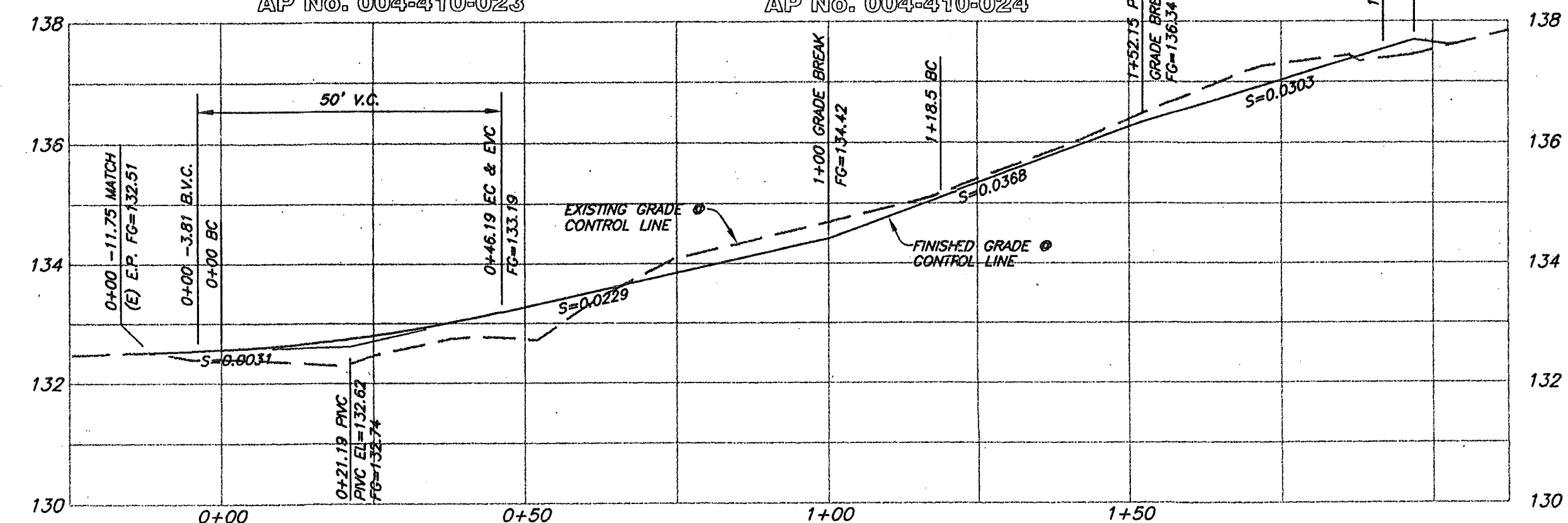
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* FOR FUTURE FIRST STREET IMPROVEMENTS SEE "PRELIMINARY IMPROVEMENT PLAN FIRST STREET" BY SANDINE & ASSOC. DATED 6/19/90 ON FILE WITH THE CITY OF SEBASTOPOL.

- PLAN NOTES:**
- 1 MATCH DRIVEWAY PAVING TO (E)E.P. - FIRST STREET
 - 2 REMOVE GATE AND FENCE
 - 3 REMOVE BLACKBERRY BUSHES EAST OF CREEK FROM TOP OF BANK THROUGH DRIVEWAY EASEMENT - LOT #1 & LOT #2
 - 4 INSTALL 12"x18" BLACK LETTERS ON WHITE BACKGROUND SIGN "NO PARKING FIRE LANE"
- PAVED DRIVEWAY 2" A.C. OVER 6" CL II AB

NOTE: Contractor is responsible for compliance with the approved Tree Protection Plan (Sheet 4). Failure to comply fully with all restrictions, conditions, or mitigation measures in the Tree Protection Plan, as reflected on Sheet 4, may result in the issuance of a stop-work order, or the imposition of fines and penalties, or both.



DRIVEWAY PROFILE @ CONTROL LINE (CL)

H: 1"=20'
V: 1"=2'

LOT PLAN

1"=20'-0"

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SCHOCH RESIDENCE
New Residence and ADU



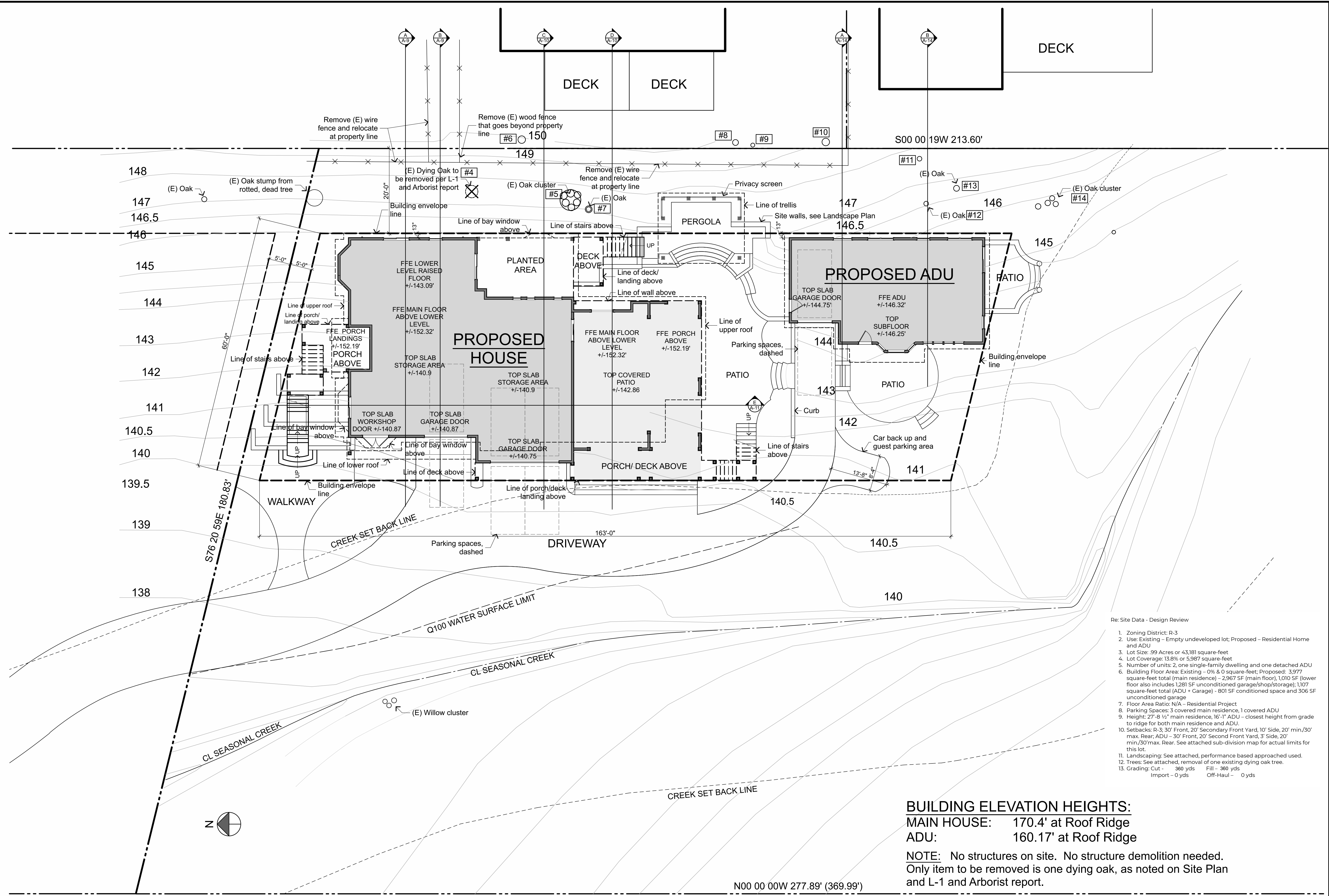
DATE: 10-25-22

Sheet
A-2

Scale

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REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



- Re: Site Data - Design Review
1. Zoning District: R-3
 2. Use: Existing - Empty undeveloped lot; Proposed - Residential Home and ADU
 3. Lot Size: .99 Acres or 43,181 square-feet
 4. Lot Coverage: 13.8% or 5,987 square-feet
 5. Number of units: 2, one single-family dwelling and one detached ADU
 6. Building Floor Area: Existing - 0% & 0 square-feet; Proposed: 3,977 square-feet total (main residence) - 2,967 SF (main floor), 1,010 SF (lower floor also includes 1,281 SF unconditioned garage/shop/storage); 1,107 square-feet total (ADU + Garage) - 801 SF conditioned space and 306 SF unconditioned garage
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 8. Parking Spaces: 3 covered main residence, 1 covered ADU
 9. Height: 27'-8 1/2" main residence, 16'-1" ADU - closest height from grade to ridge for both main residence and ADU.
 10. Setbacks: R-3: 30' Front, 20' Secondary Front Yard, 10' Side, 20' min./30' max. Rear; ADU - 30' Front, 20' Second Front Yard, 3' Side, 20' min./30' max. Rear. See attached sub-division map for actual limits for this lot.
 11. Landscaping: See attached, performance based approach used.
 12. Trees: See attached, removal of one existing dying oak tree.
 13. Grading: Cut - 360 yds Fill - 360 yds Import - 0 yds Off-Haul - 0 yds

BUILDING ELEVATION HEIGHTS:
 MAIN HOUSE: 170.4' at Roof Ridge
 ADU: 160.17' at Roof Ridge

NOTE: No structures on site. No structure demolition needed. Only item to be removed is one dying oak, as noted on Site Plan and L-1 and Arborist report.

NOTE: See Civil Plans for all utilities and drainage
NOTE: See L-1 Landscape Layout Plan for all paving surfaces, heights of site/landscape features & all trees of note

SITE PLAN

1"=10'-0"

SCHOCH RESIDENCE
 New Residence and ADU



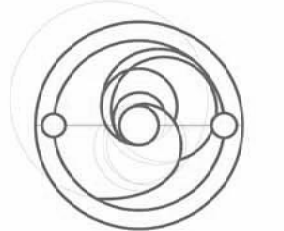
DATE: 10-25-22

Sheet

A-3

Scale

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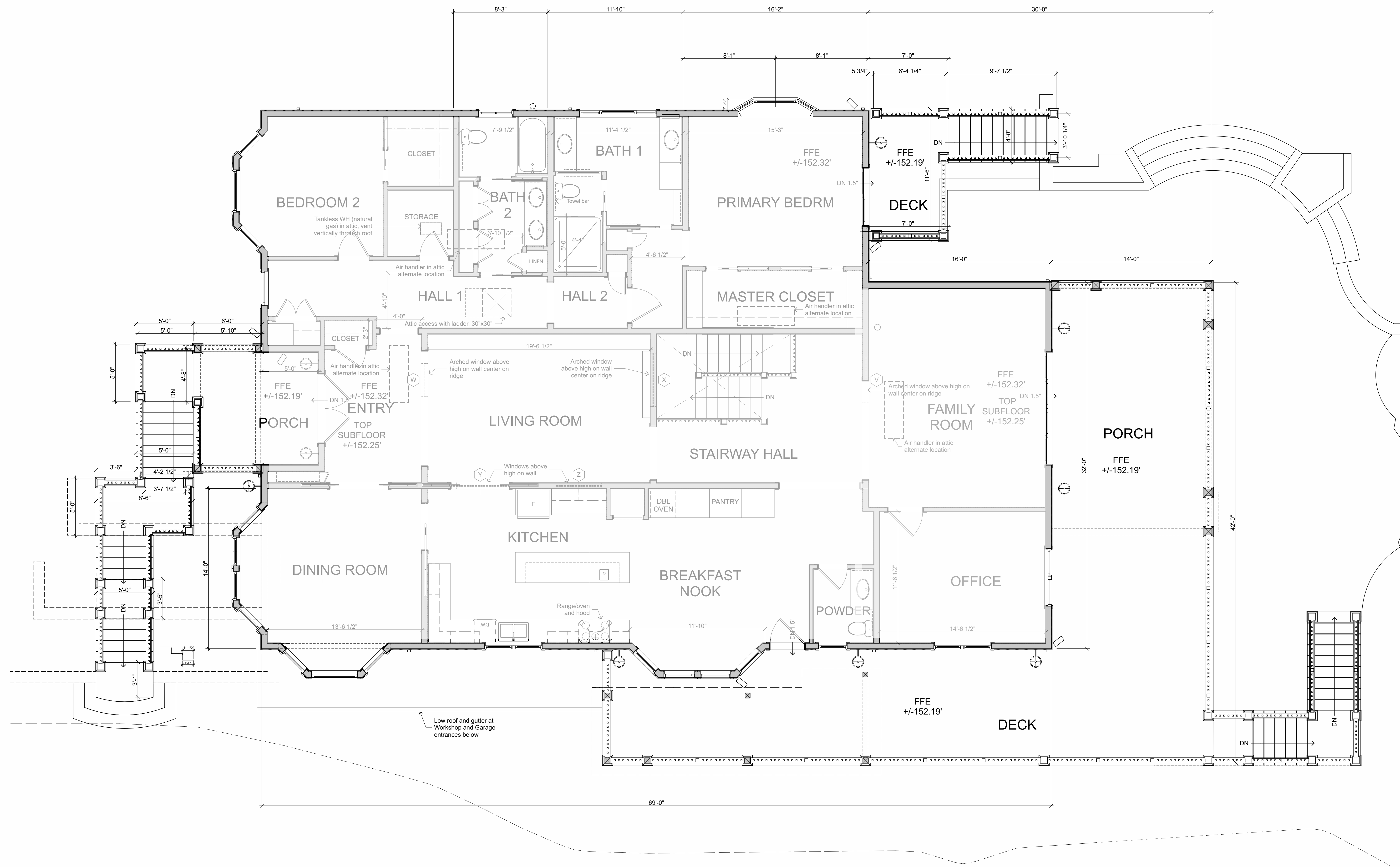
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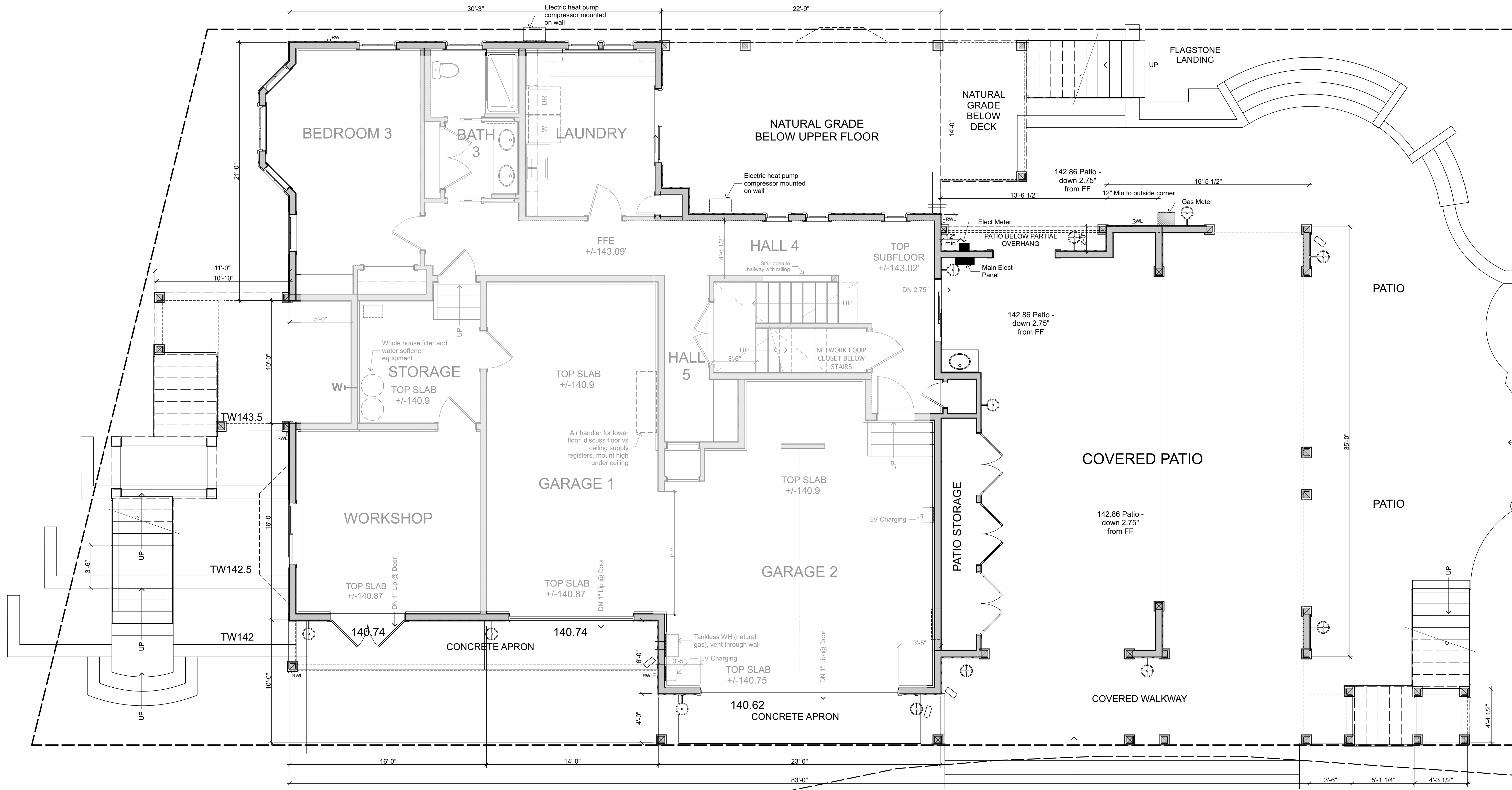
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A-4

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MAIN LEVEL FLOOR PLAN - MAIN HOUSE 1/4"=1'-0"



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SCHOCH RESIDENCE

New Residence and ADU

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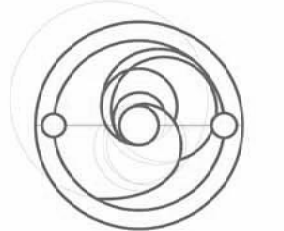
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A-5

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LOWER LEVEL FLOOR PLAN - MAIN HOUSE

1/4"=1'-0"

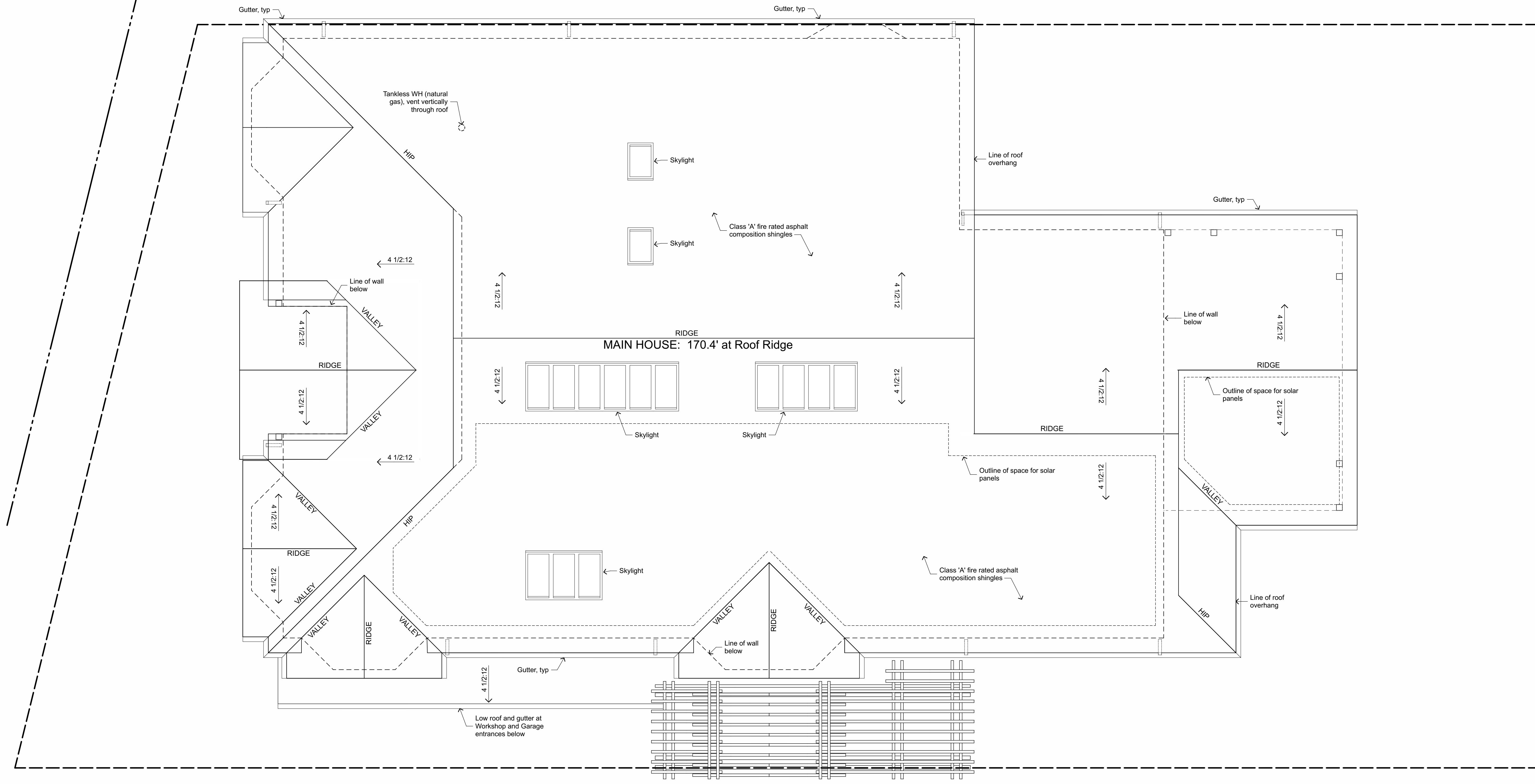


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BUILDING DRAINAGE:
 All roofs slope to gutters and downspouts.
 Rainwater is collected and directed into drainage system per Civil Plans.



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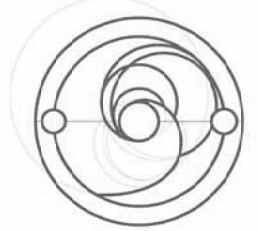


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Sheet
A-6

ROOF PLAN - MAIN HOUSE 1/4"=1'-0"

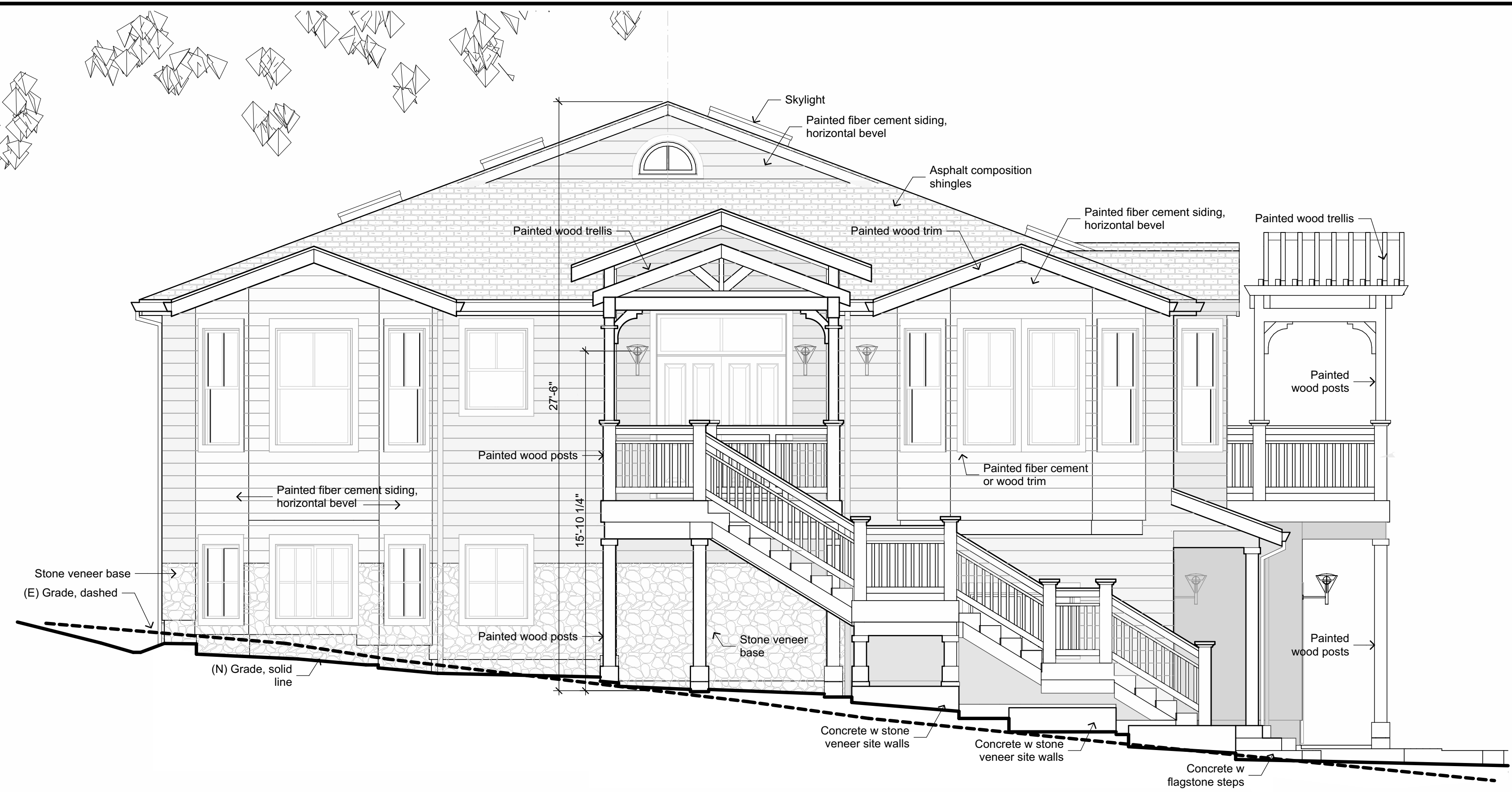
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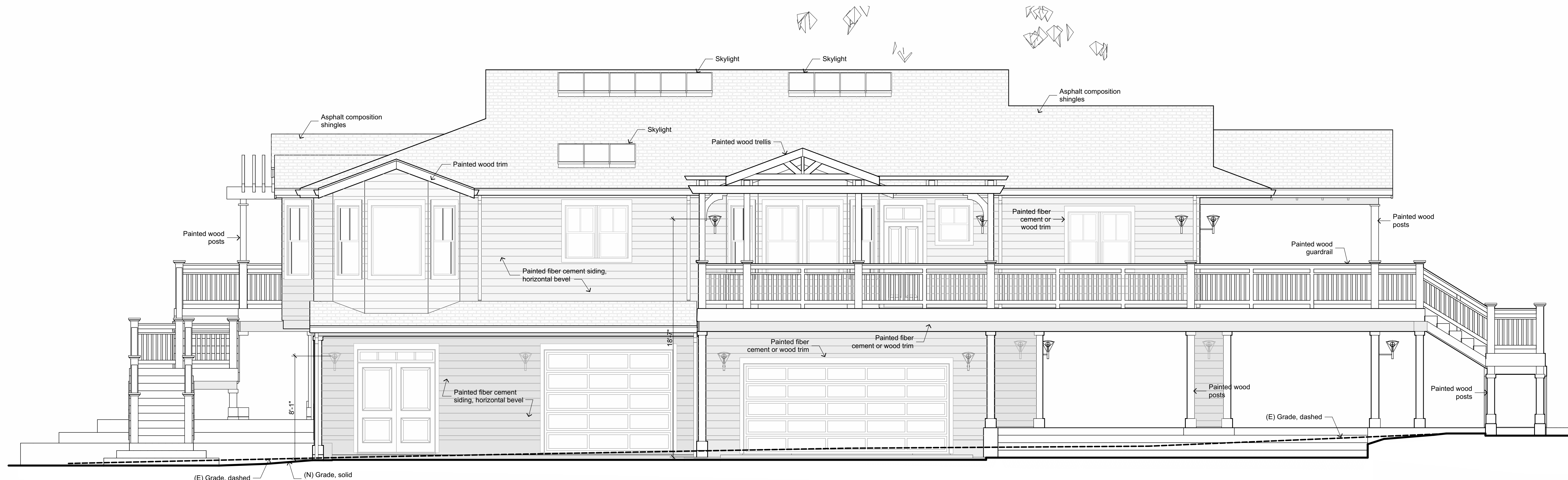
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NORTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS - MAIN HOUSE

1/4"=1'-0"

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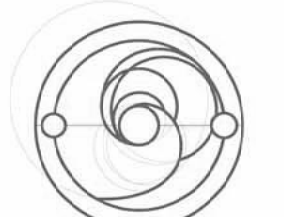


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Scale

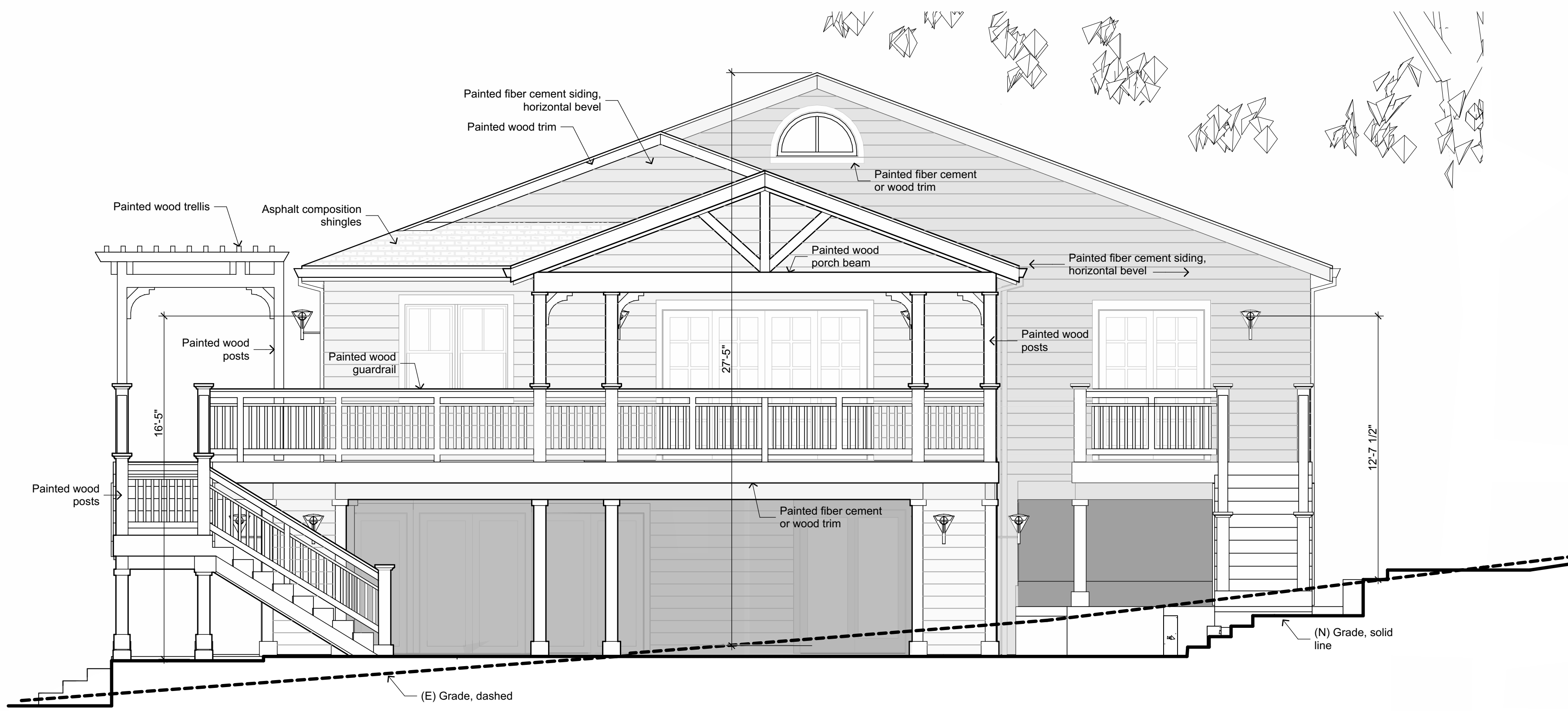


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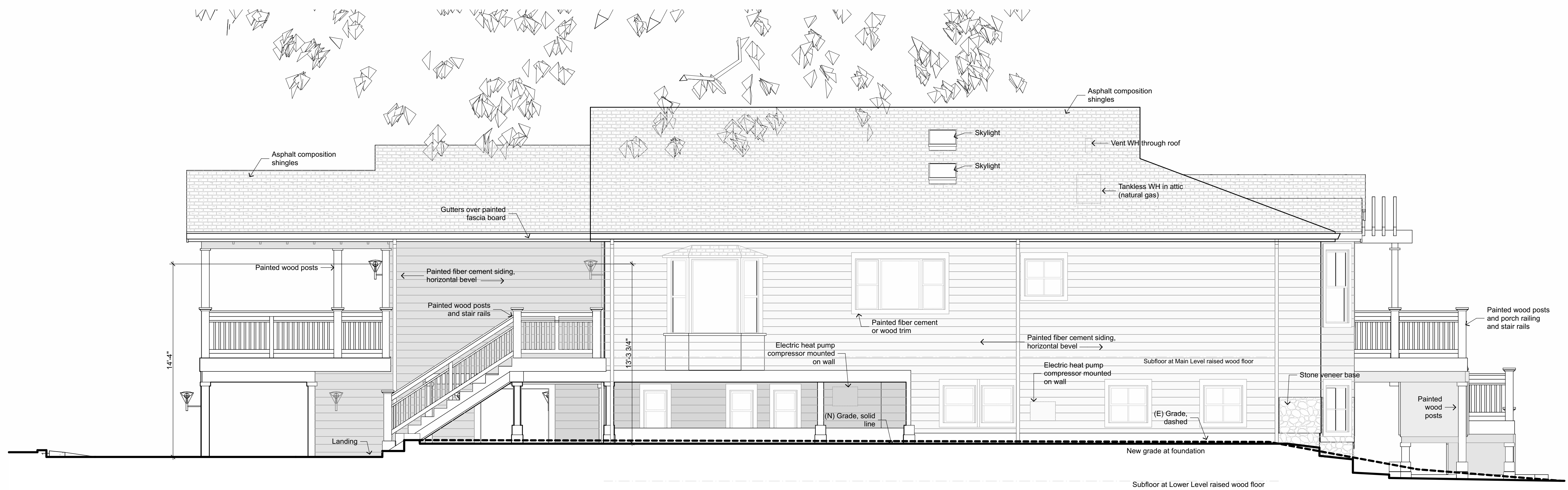
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SOUTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

EXTERIOR ELEVATIONS - MAIN HOUSE

1/4" = 1'-0"

SCHOCH RESIDENCE
New Residence and ADU

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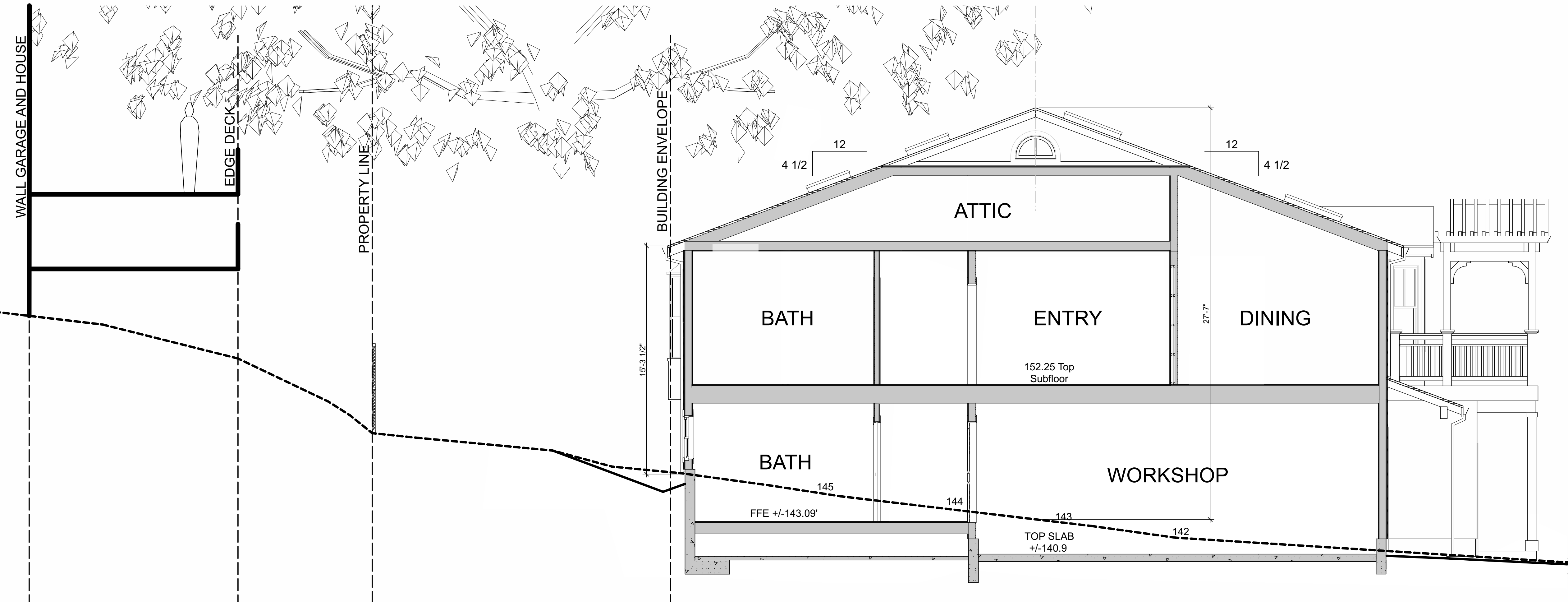
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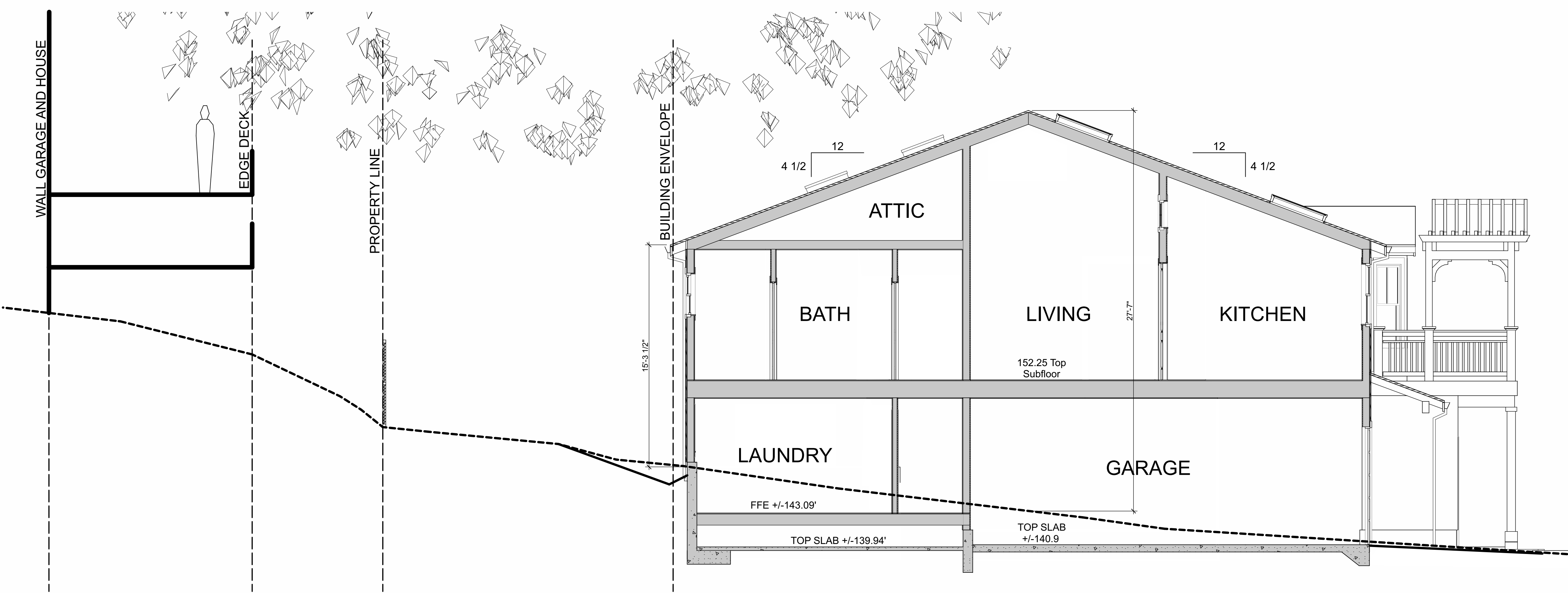
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SECTION A
 1/4" = 1'-0"



SECTION B
 1/4" = 1'-0"

SECTIONS - MAIN HOUSE
 1/4"=1'-0"

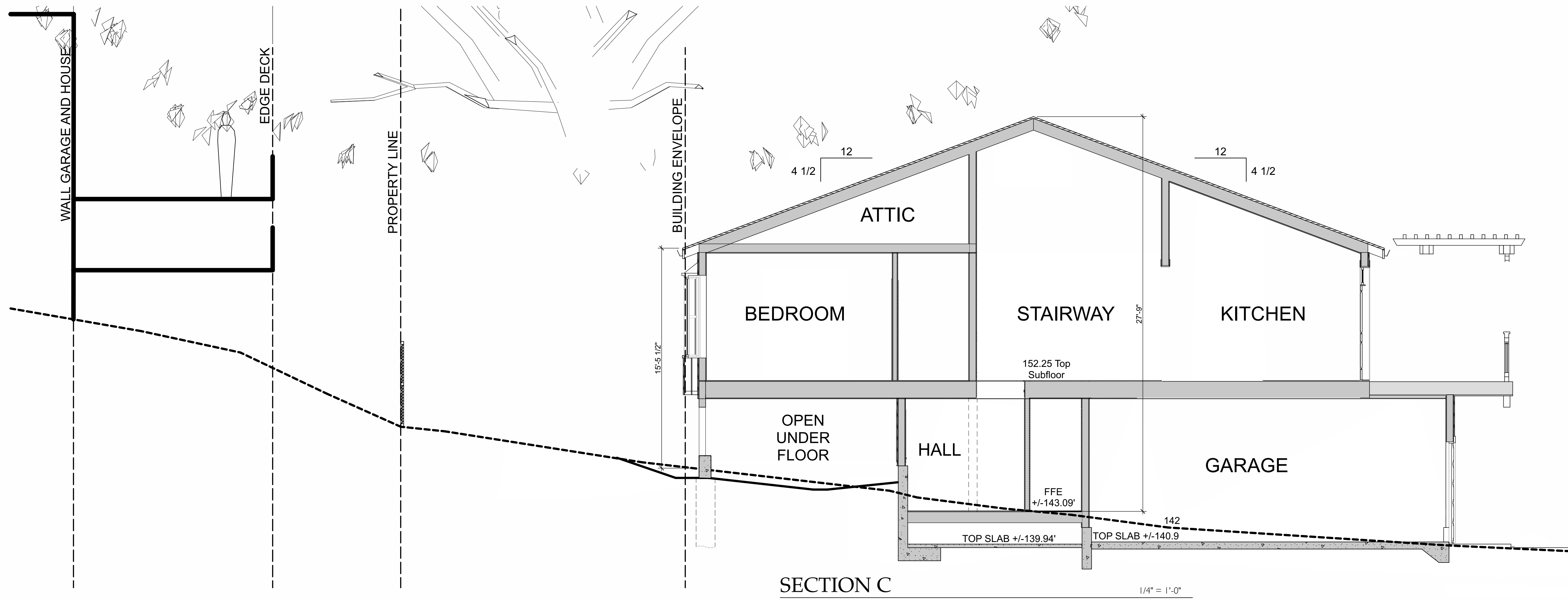
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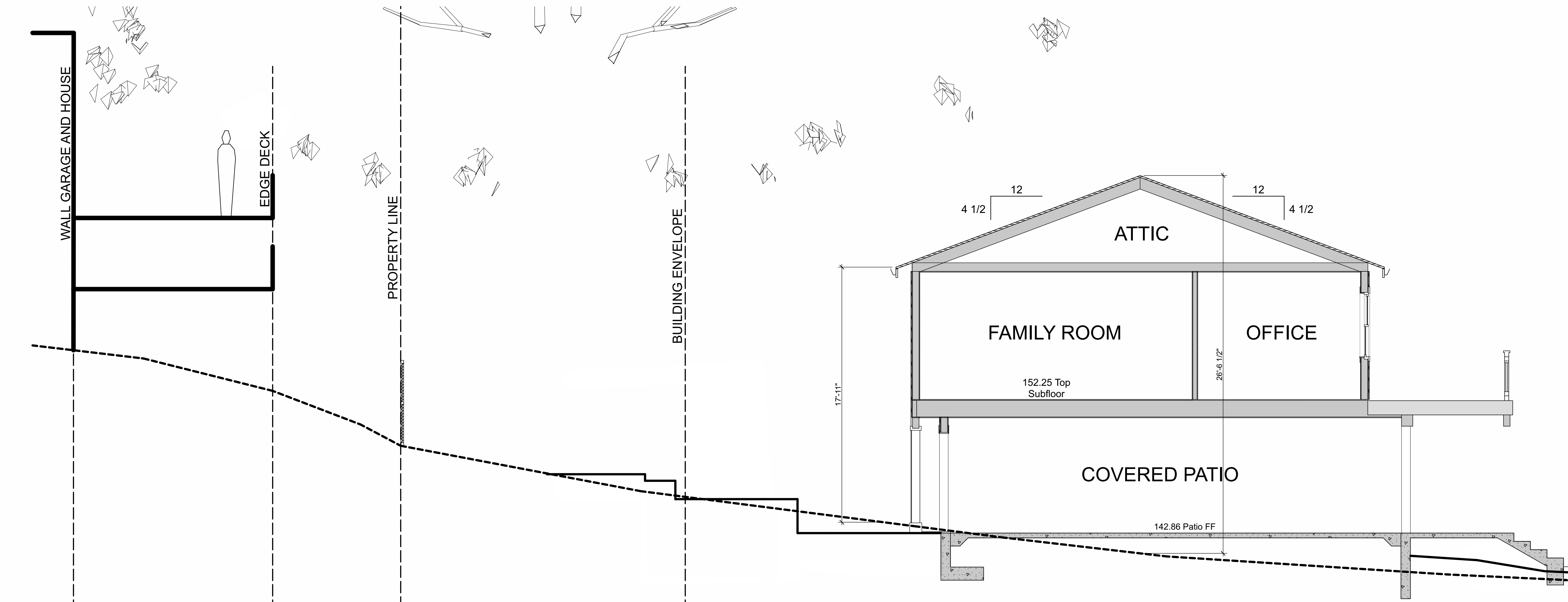
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A-9

Scale



SECTION C

1/4" = 1'-0"



SECTION D

1/4" = 1'-0"

SECTIONS - MAIN HOUSE

1/4"=1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

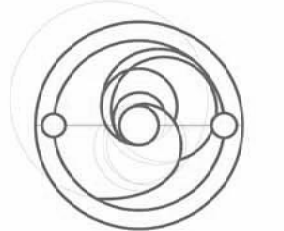
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A-10

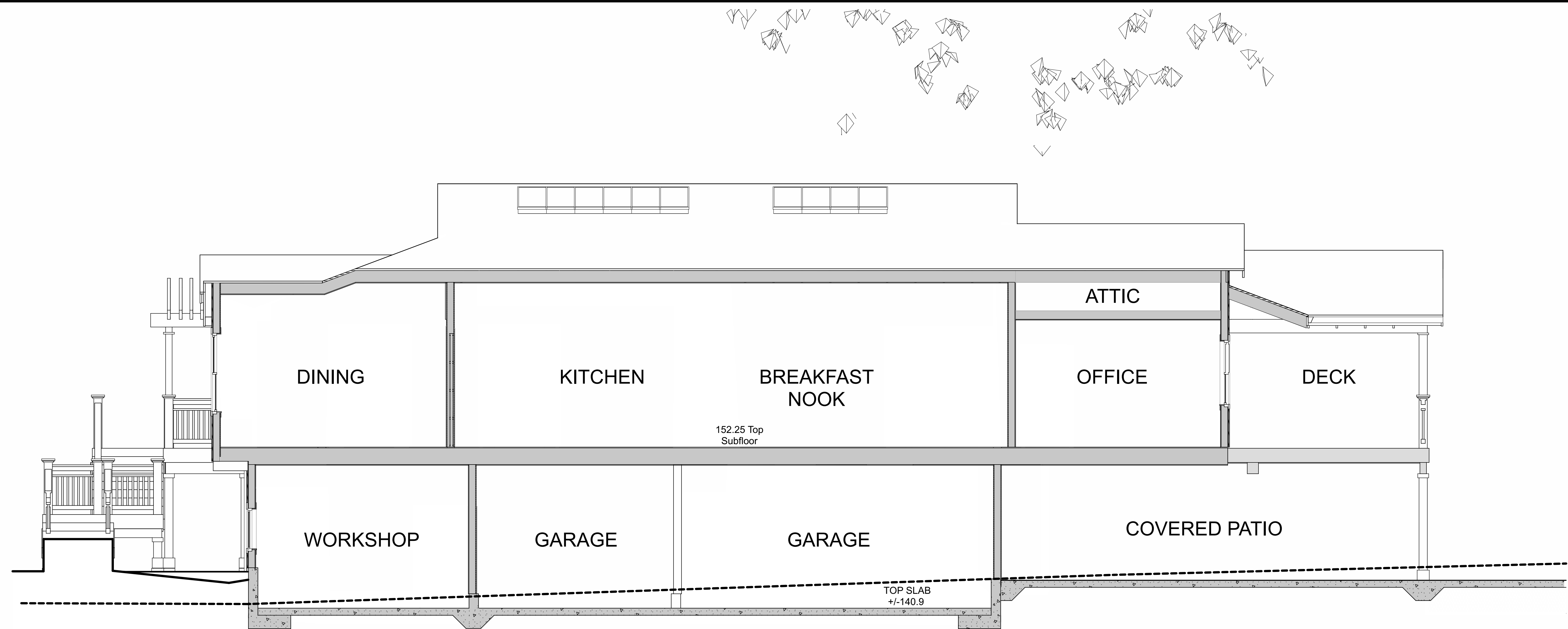
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SECTION E

1/4" = 1'-0"

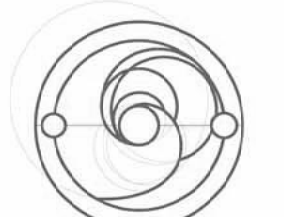
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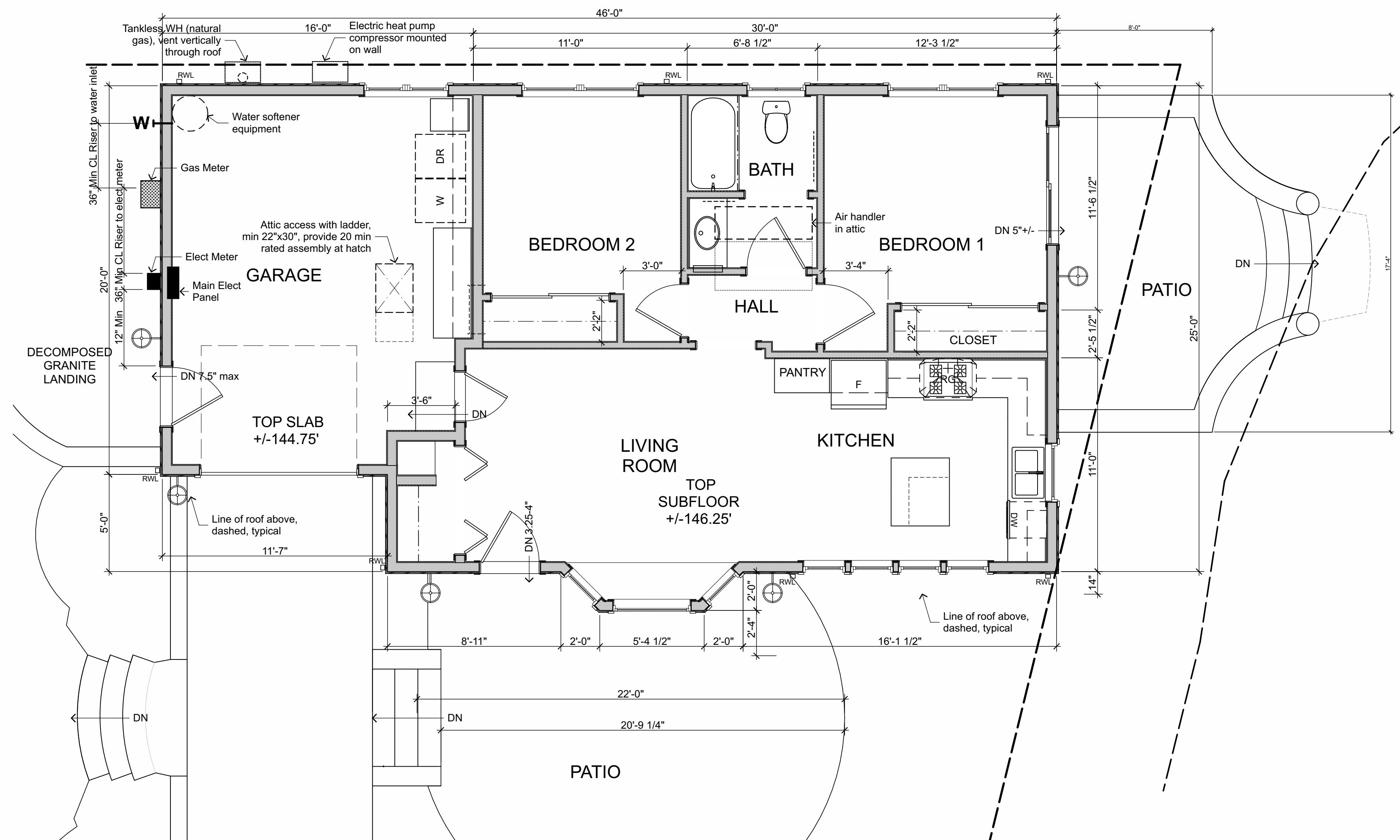
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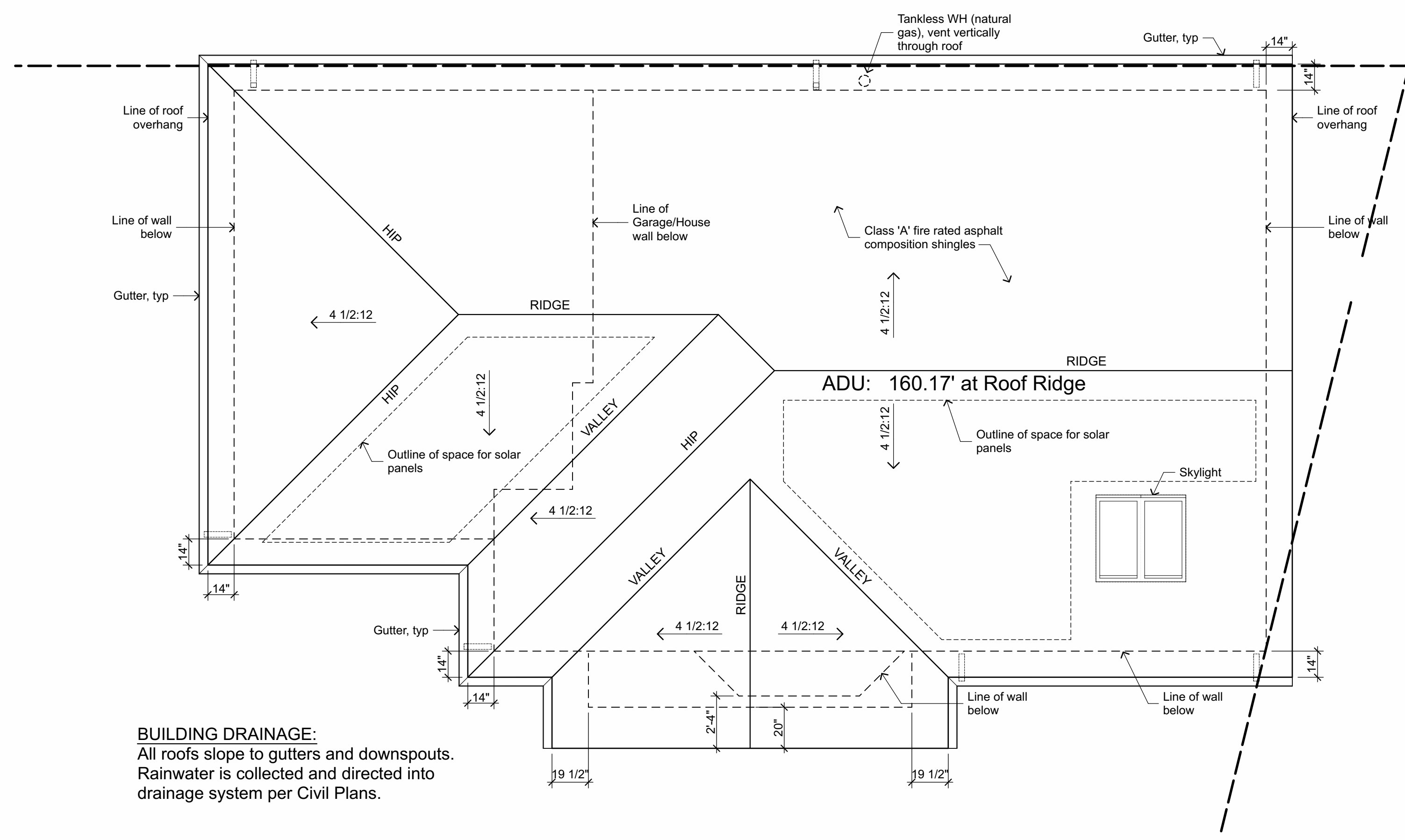
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FLOOR PLAN

1/4" = 1'-0"



ROOF PLAN

1/4" = 1'-0"

BUILDING DRAINAGE:
All roofs slope to gutters and downspouts.
Rainwater is collected and directed into drainage system per Civil Plans.

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

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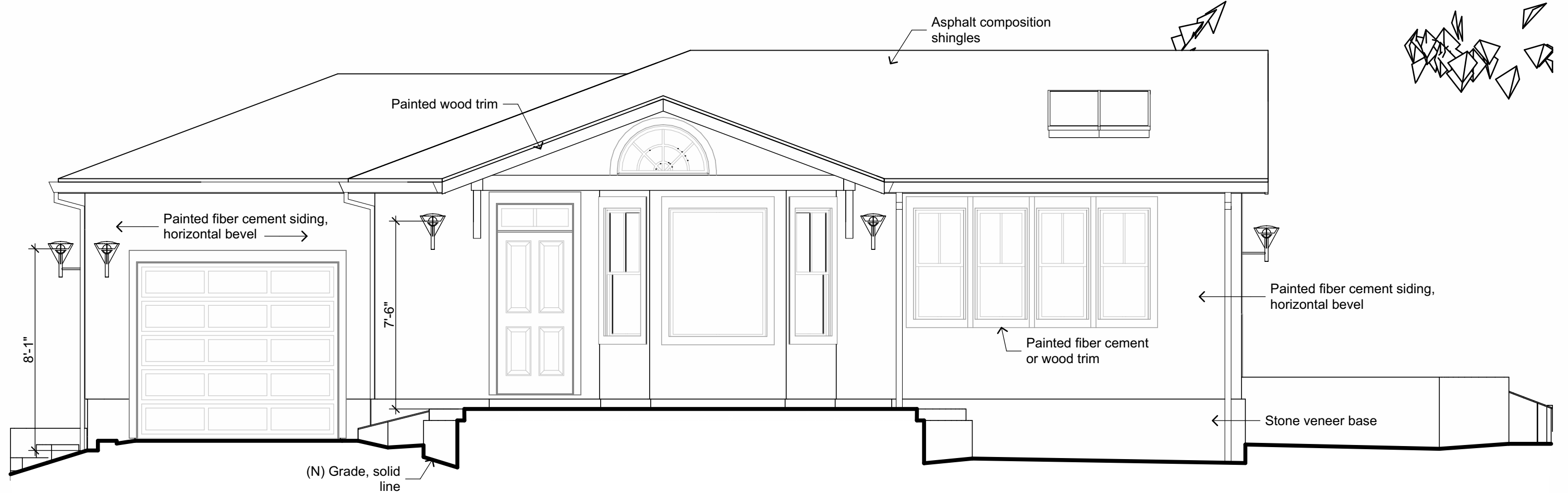
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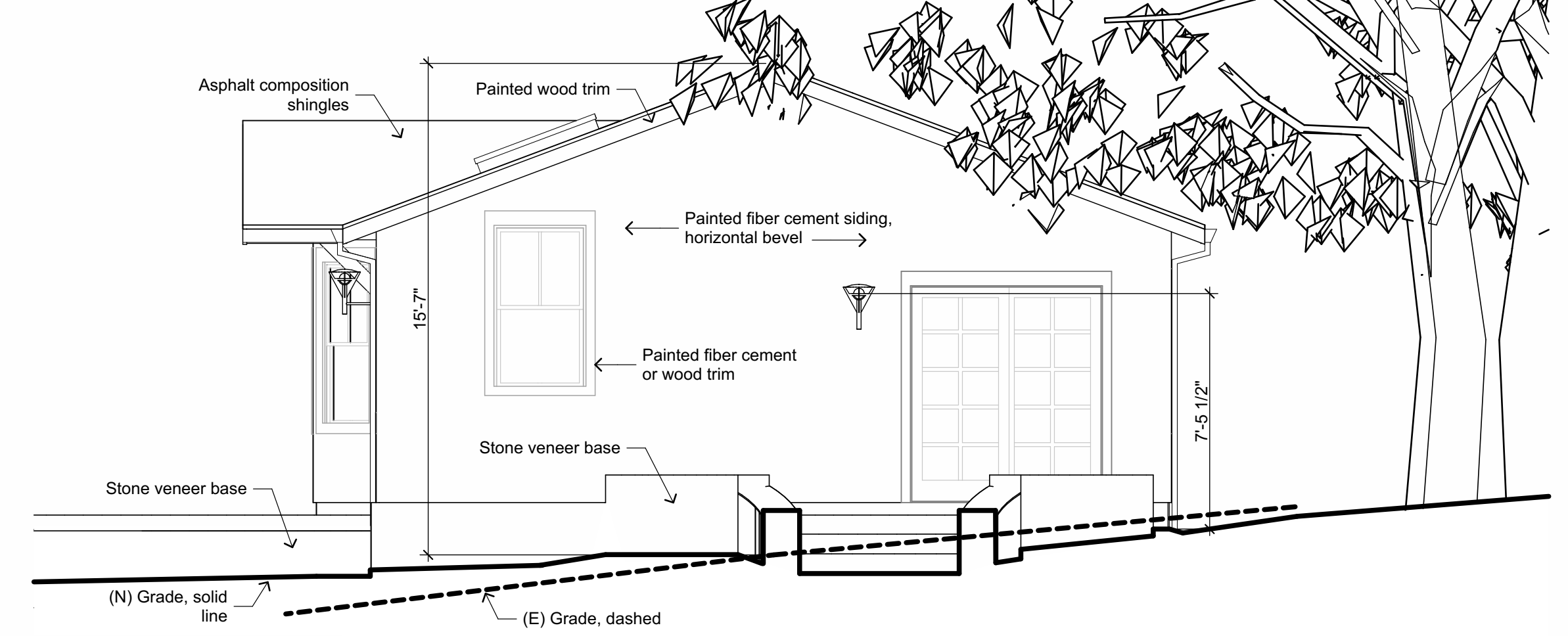
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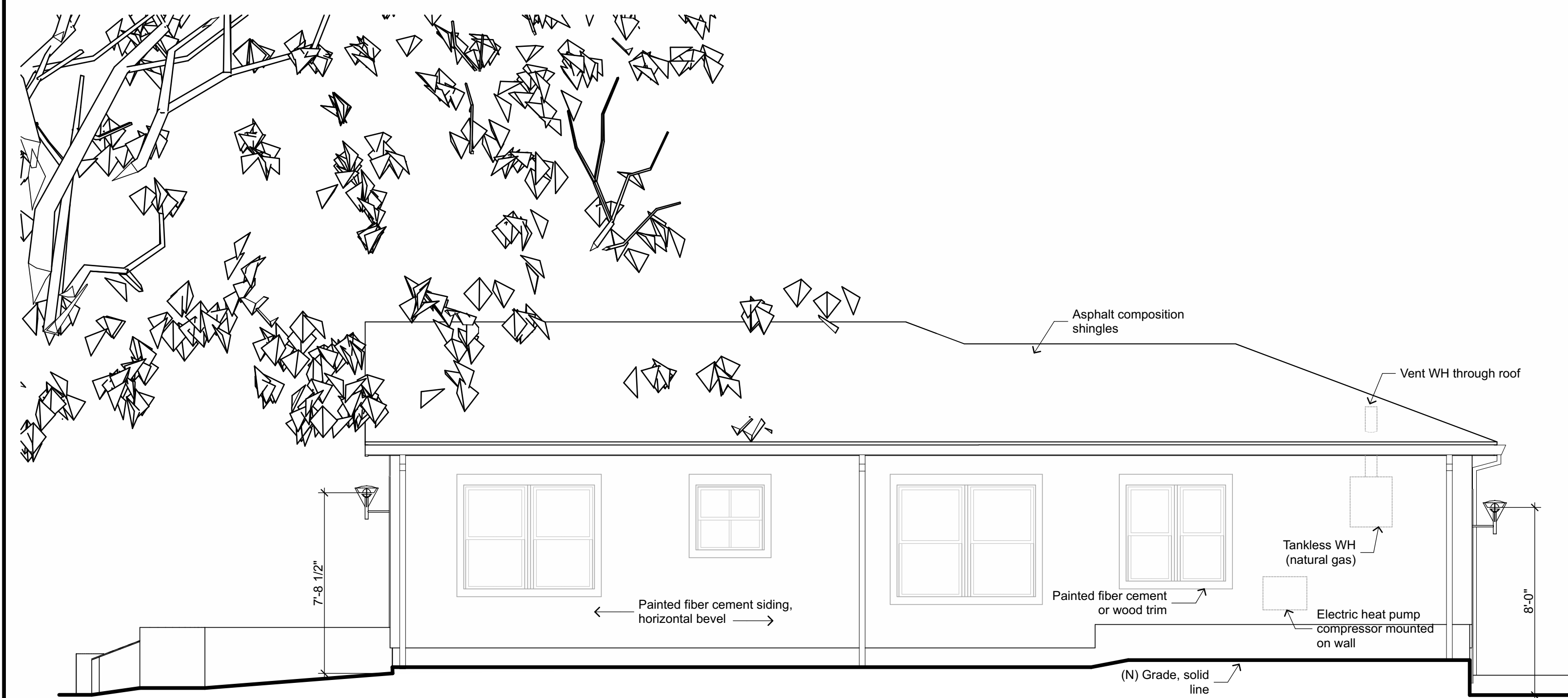
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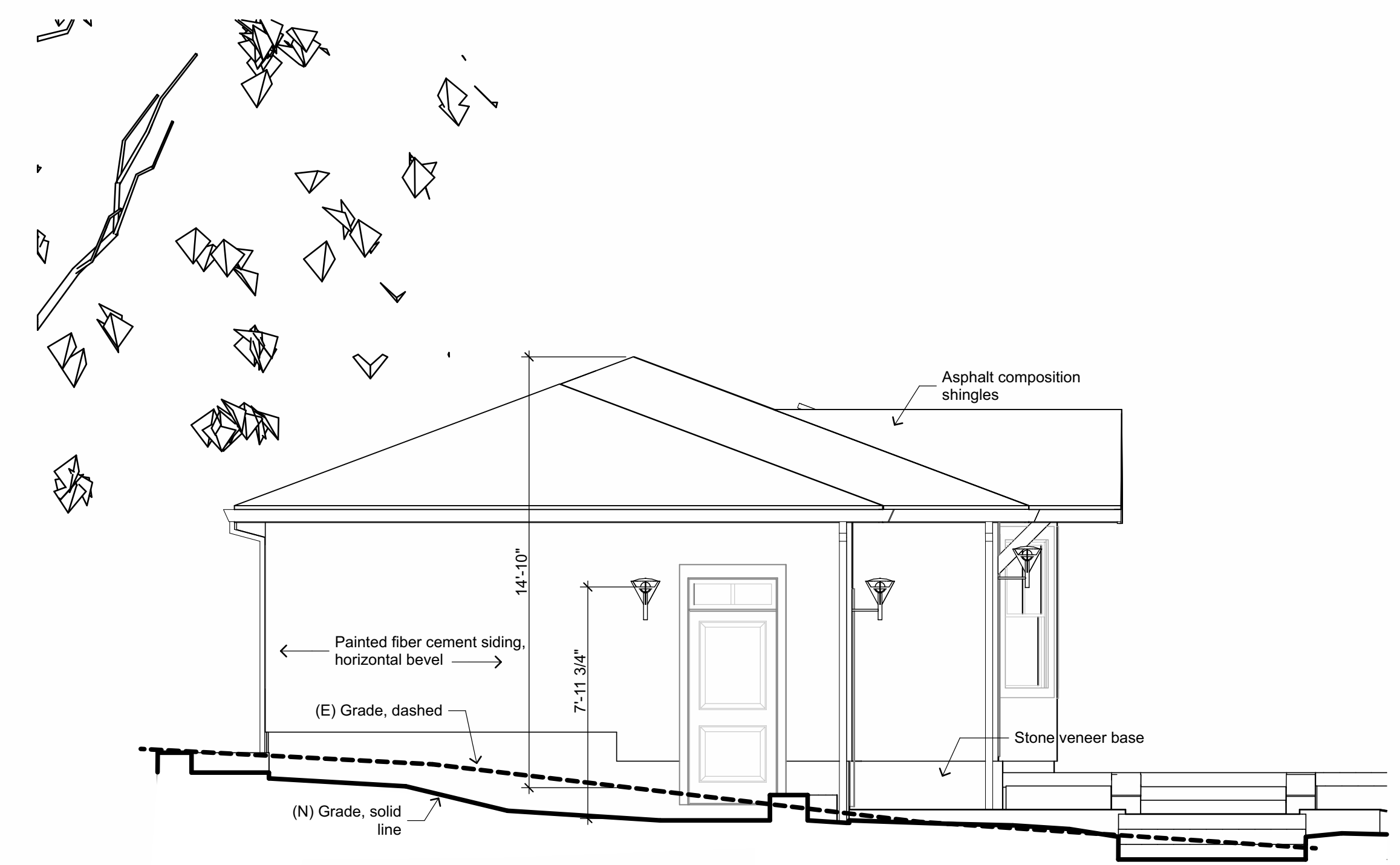
WEST ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"

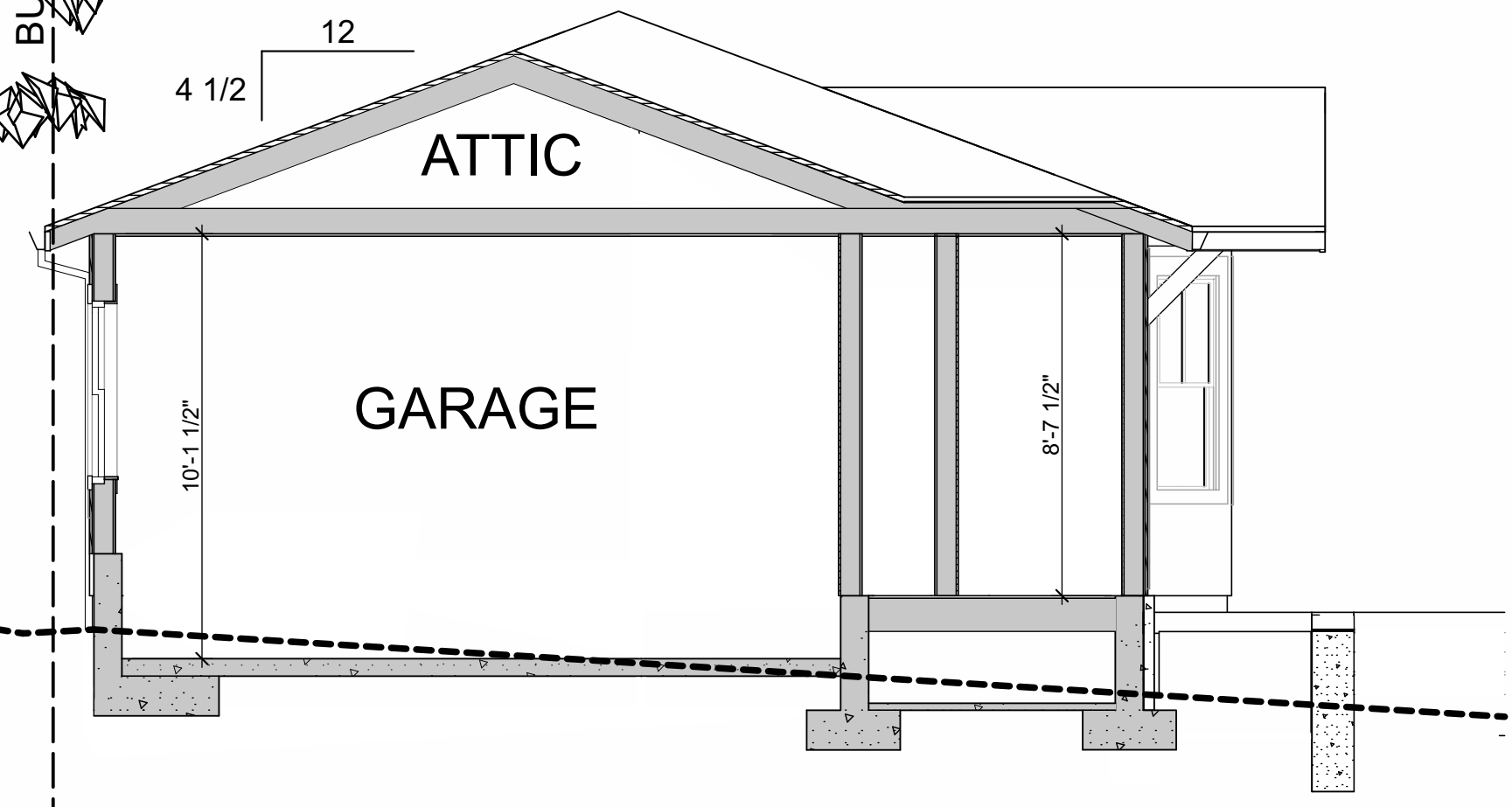
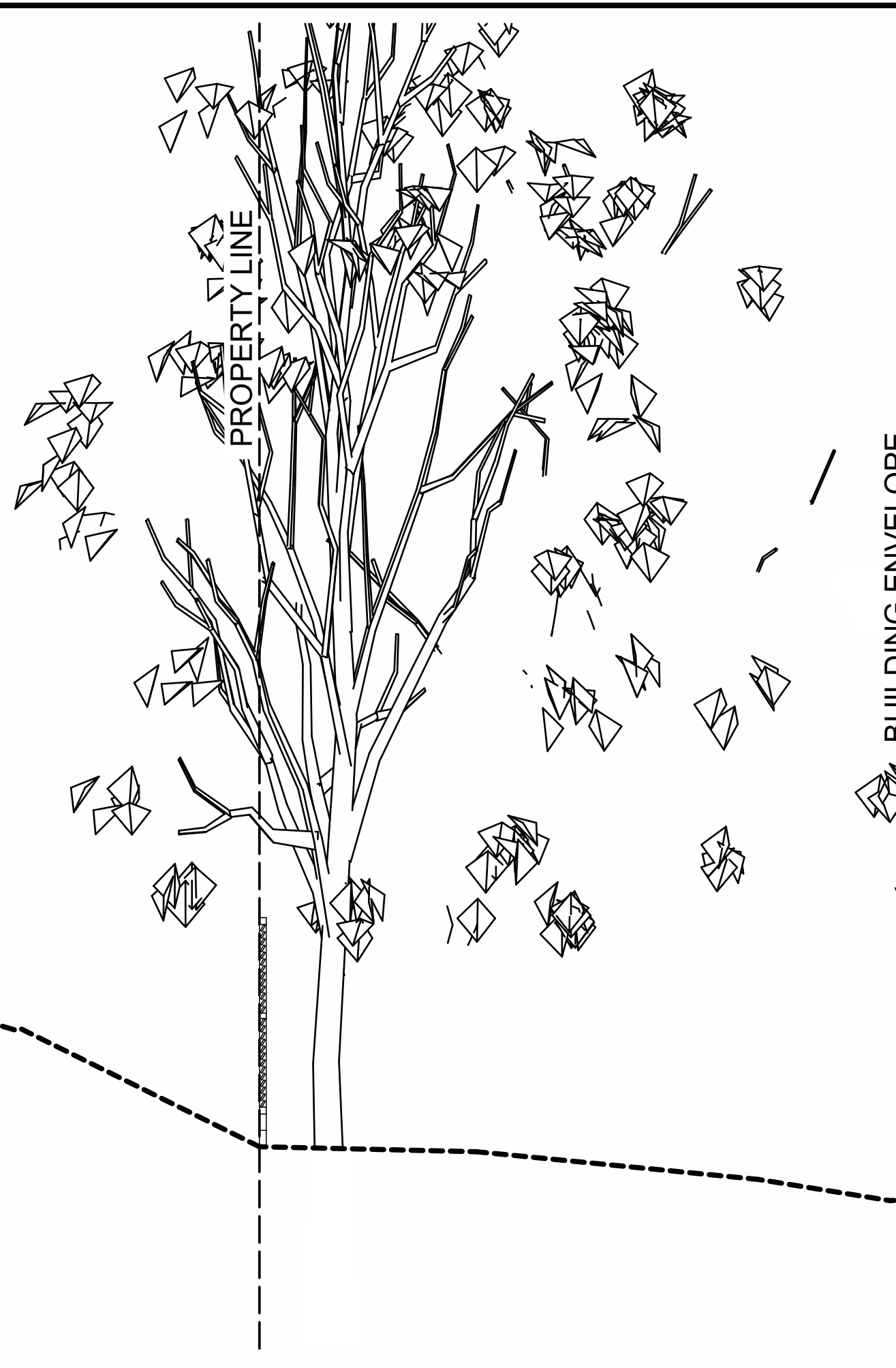
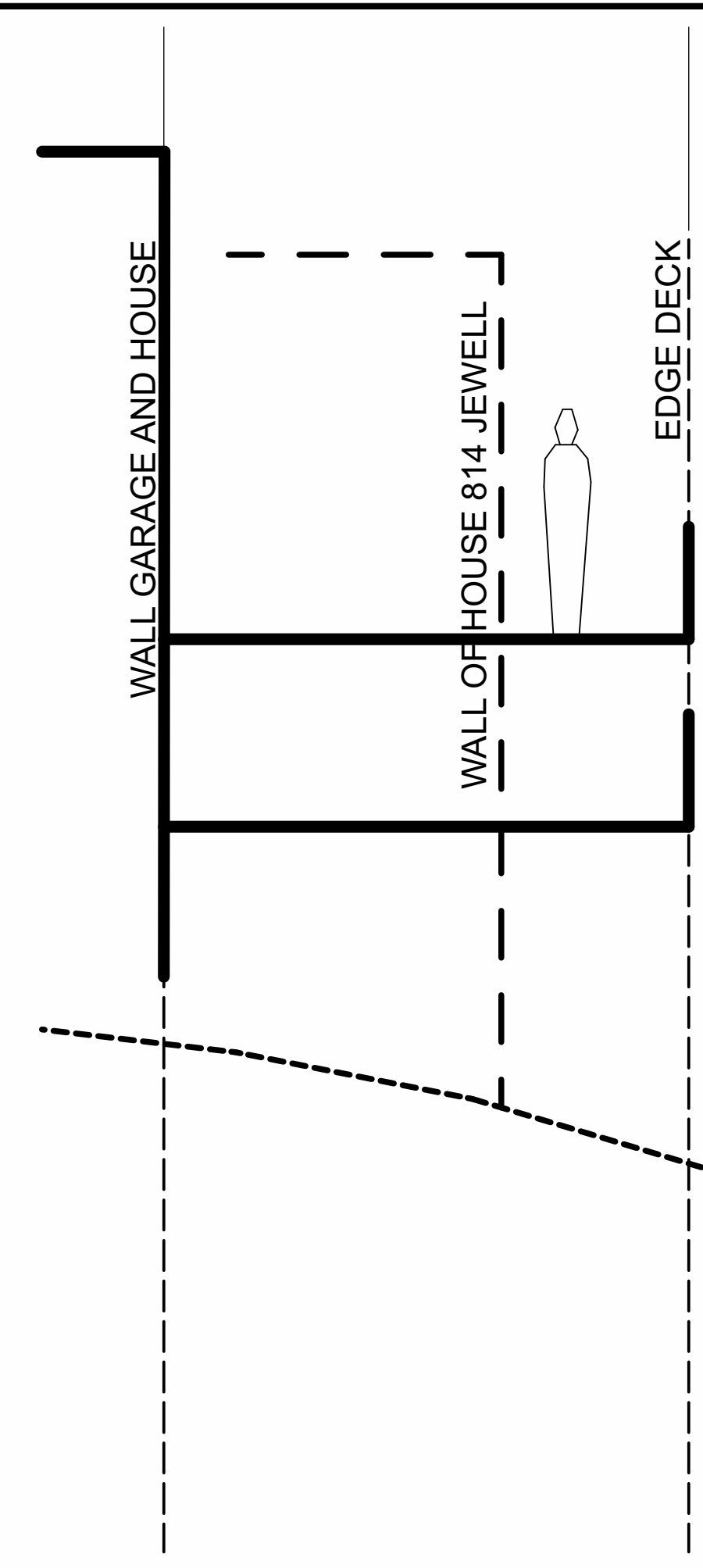


EAST ELEVATION 1/4" = 1'-0"



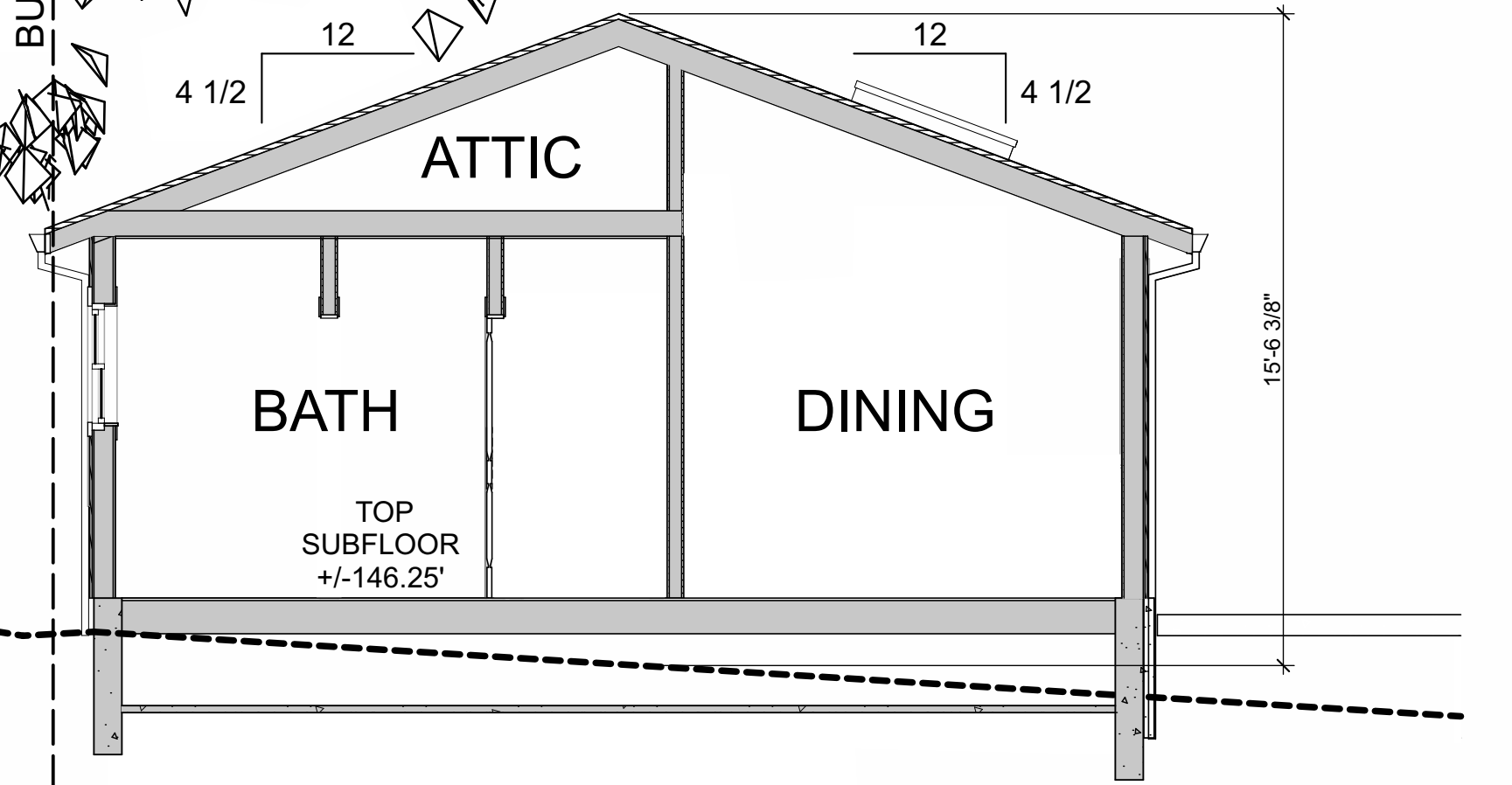
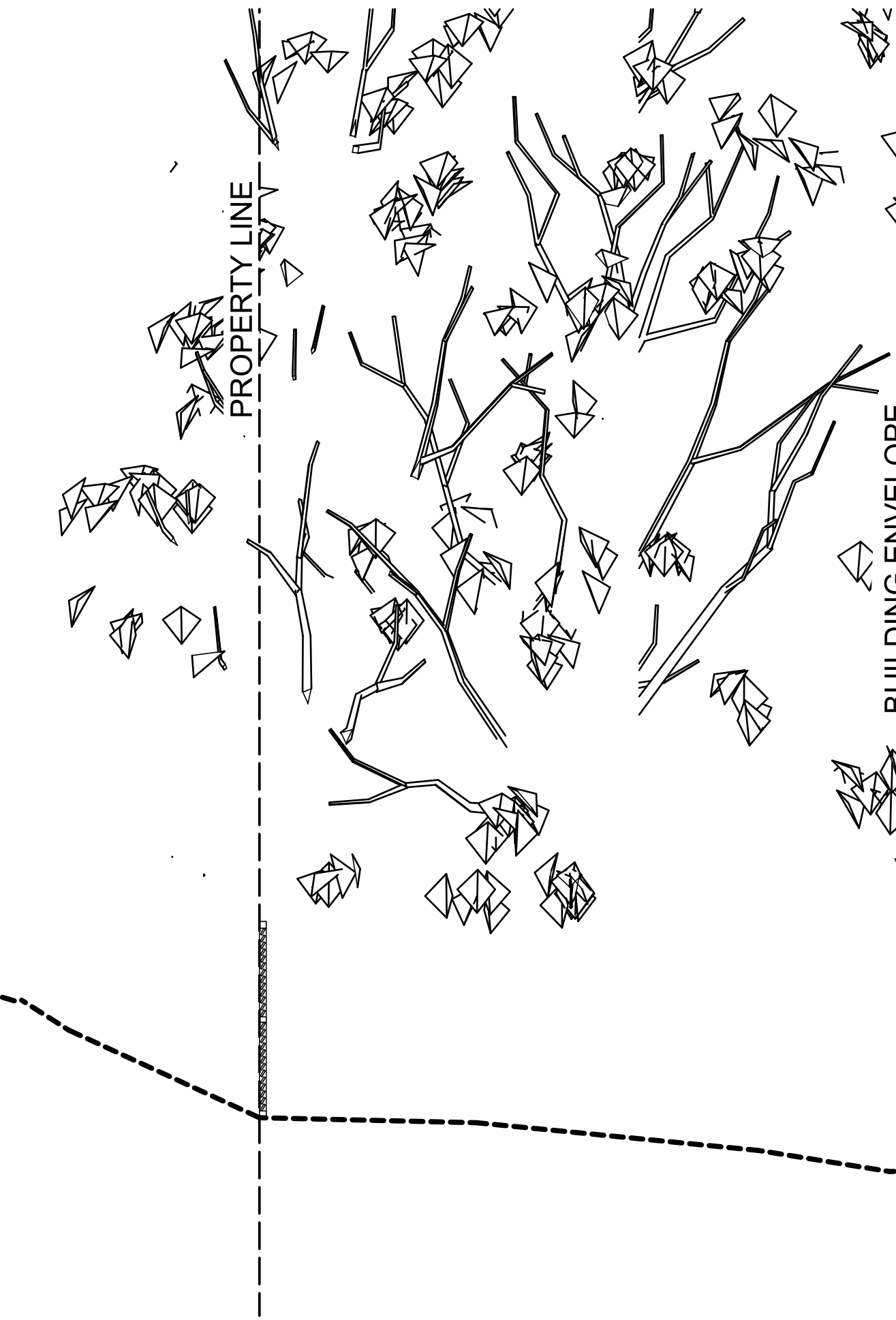
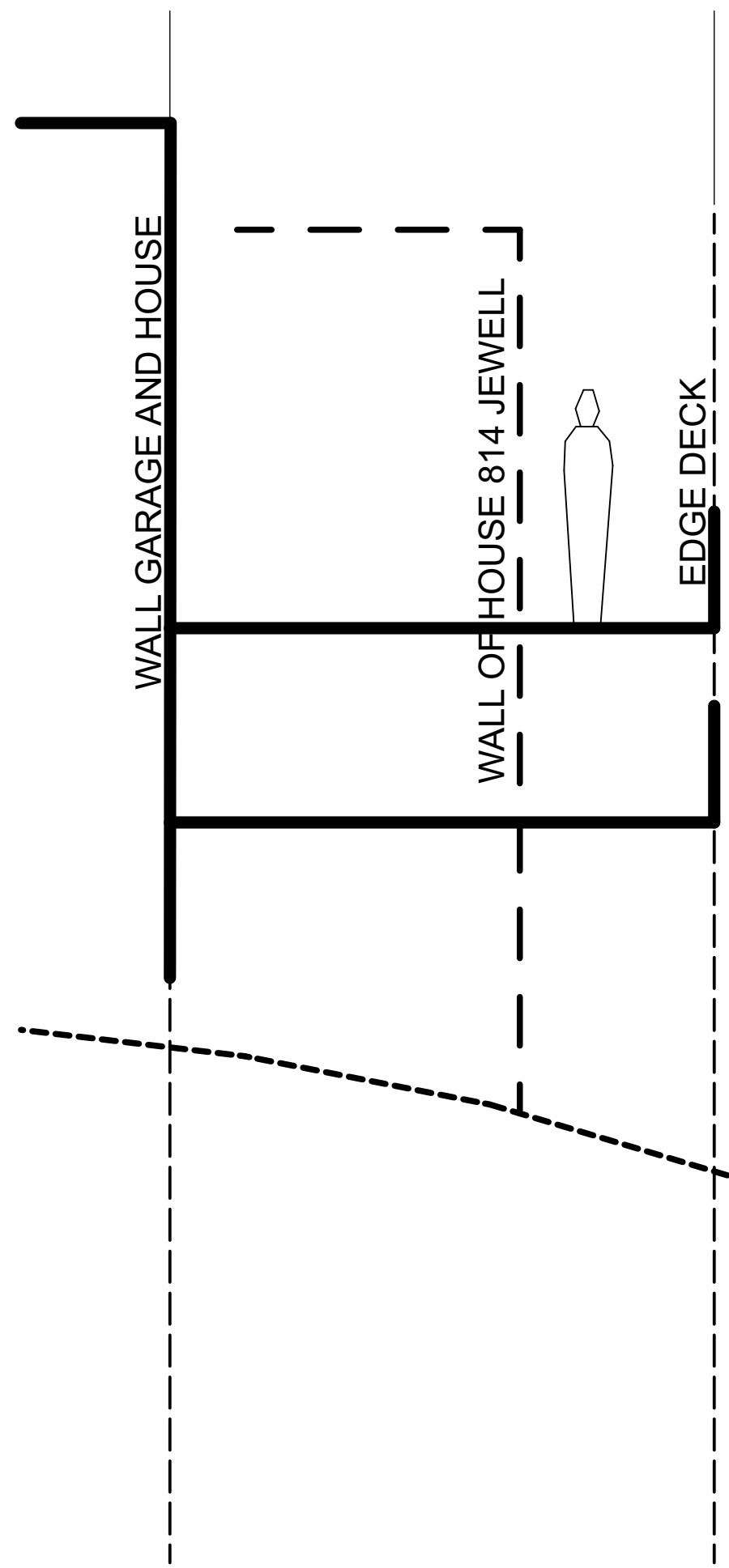
SOUTH ELEVATION 1/4" = 1'-0"

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SECTION A

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

SECTIONS - ADU

1/4"=1'-0"

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED

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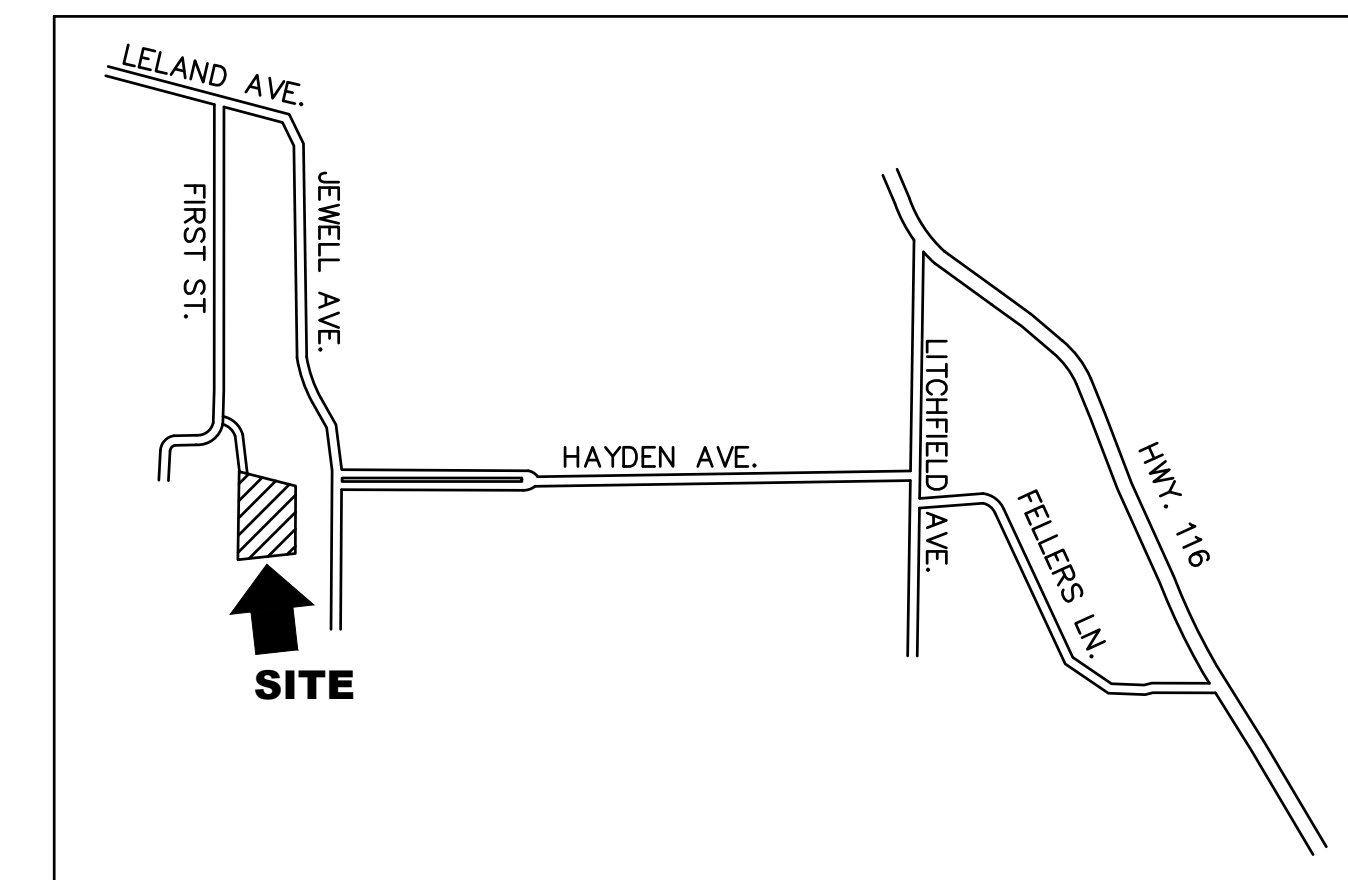
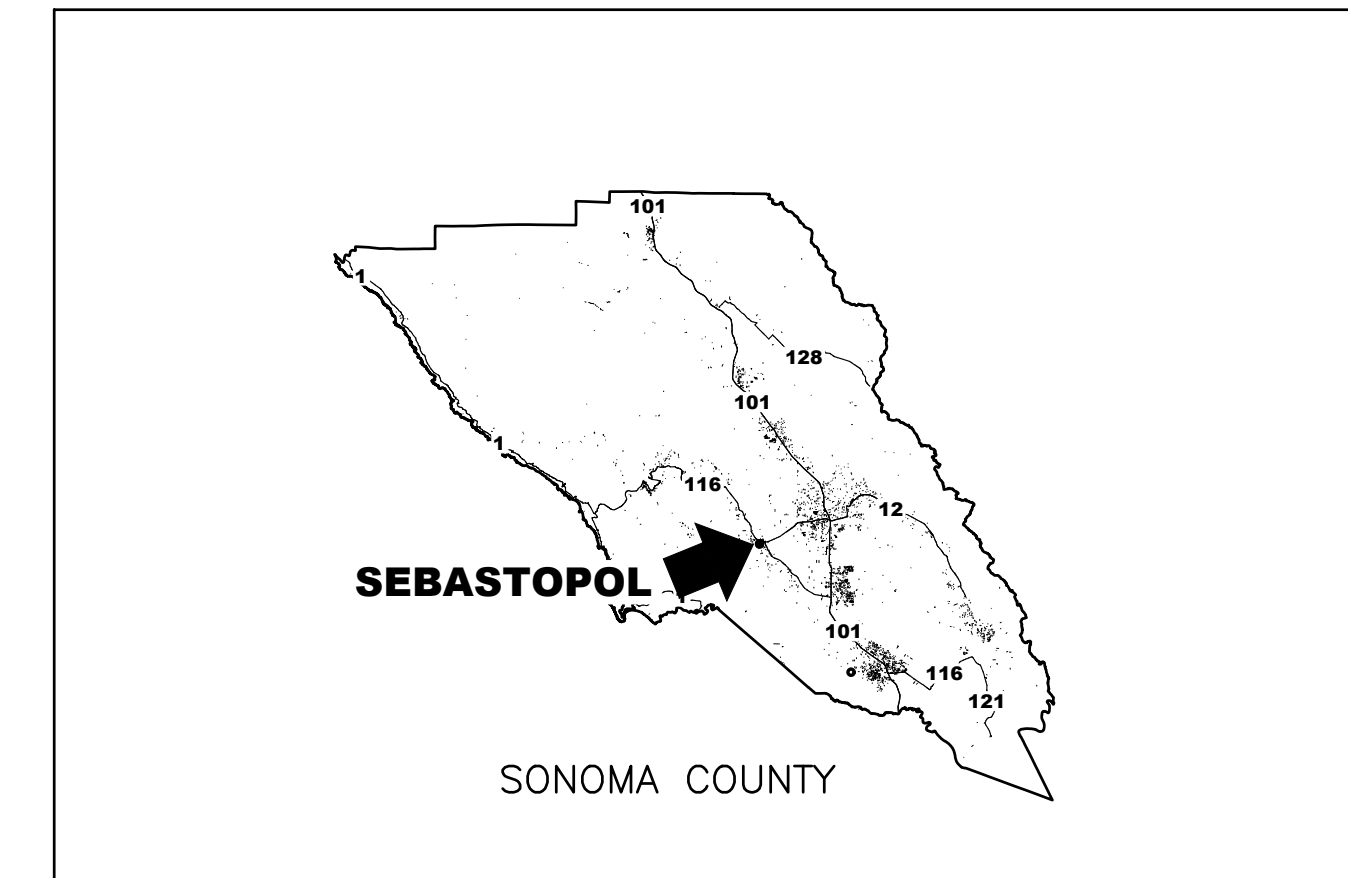
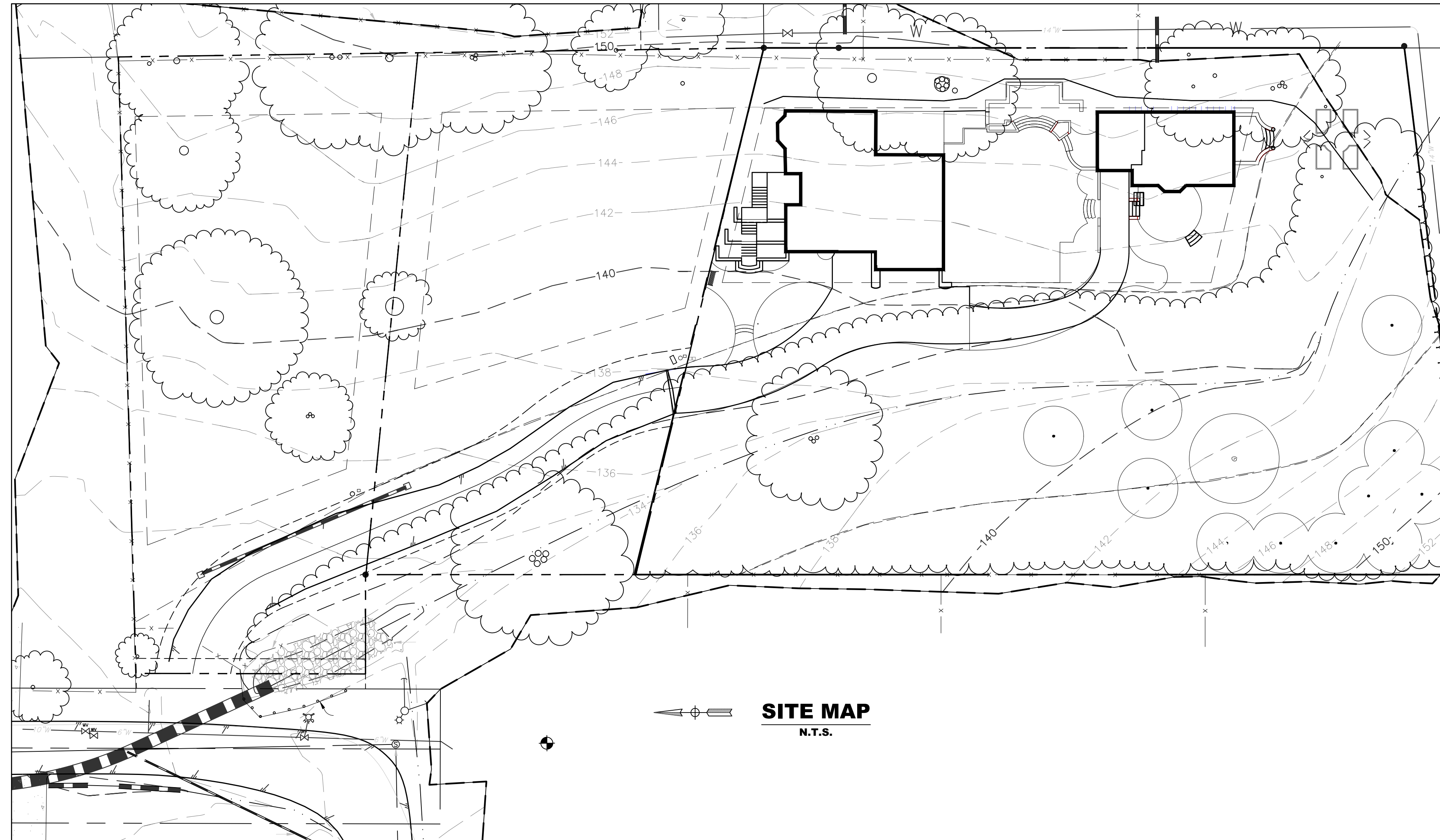
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Scale

GRADING, DRAINAGE AND UTILITY PLAN

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 AP NO. 004-172-017
 DESIGN REVIEW BOARD SUBMITTAL



LEGEND / ABBREVIATIONS

- BOUNDARY LINE
- CONTOUR LINE (ONE FOOT INTERVALS)
- FENCE LINE (WIRE)
- TREE DRIPLINE/EDGE OF VEGETATED AREA
- BUILDING LINE
- CONCRETE SURFACE
- ASPHALT SURFACE
- STRAW MULCH WITH SEED
- SILT FENCE
- FIBER ROLLS
- CP CONTROL POINT
- EL ELEVATION
- SSCO SANITARY SEWER CLEAN-OUT
- GAS REG GAS REGULATOR
- RET RETAINING

SHEET INDEX

- G0.0 COVER SHEET
- C1.0 GRADING PLAN AND EARTHWORK
- C2.0 CROSS SECTIONS
- C3.0 UTILITY PLAN

LACO
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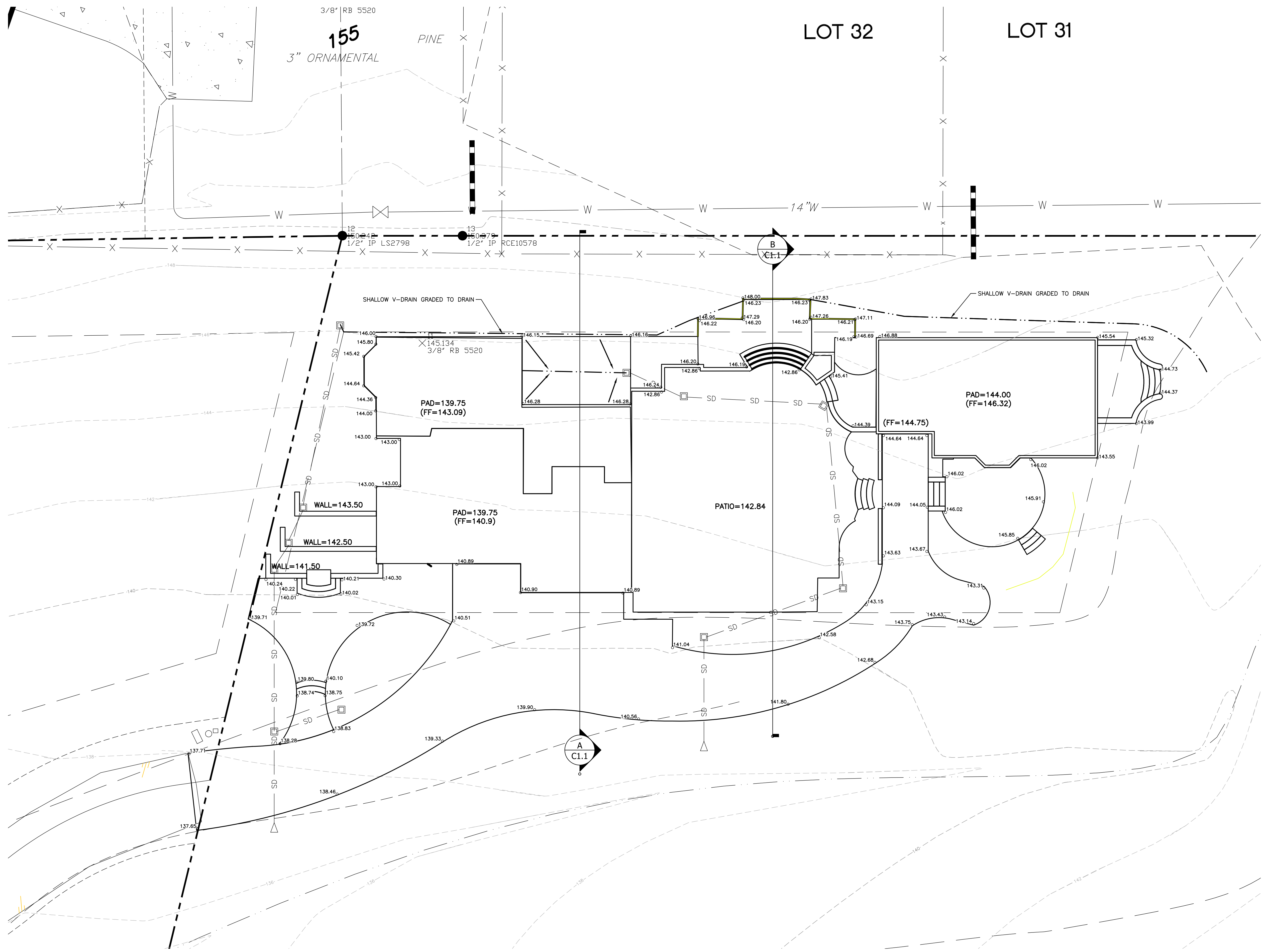
NO.	HISTORY / REVISION	BY / CHK.	DATE

SCHOCH RESIDENCE
 7XX FIRST STREET
 SEBASTOPOL, CA 95472

COVER SHEET



DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	10/26/2022
JOB NUMBER	9884.00
DRAWING	G0.0



Oct 26, 2022 - 11:01am
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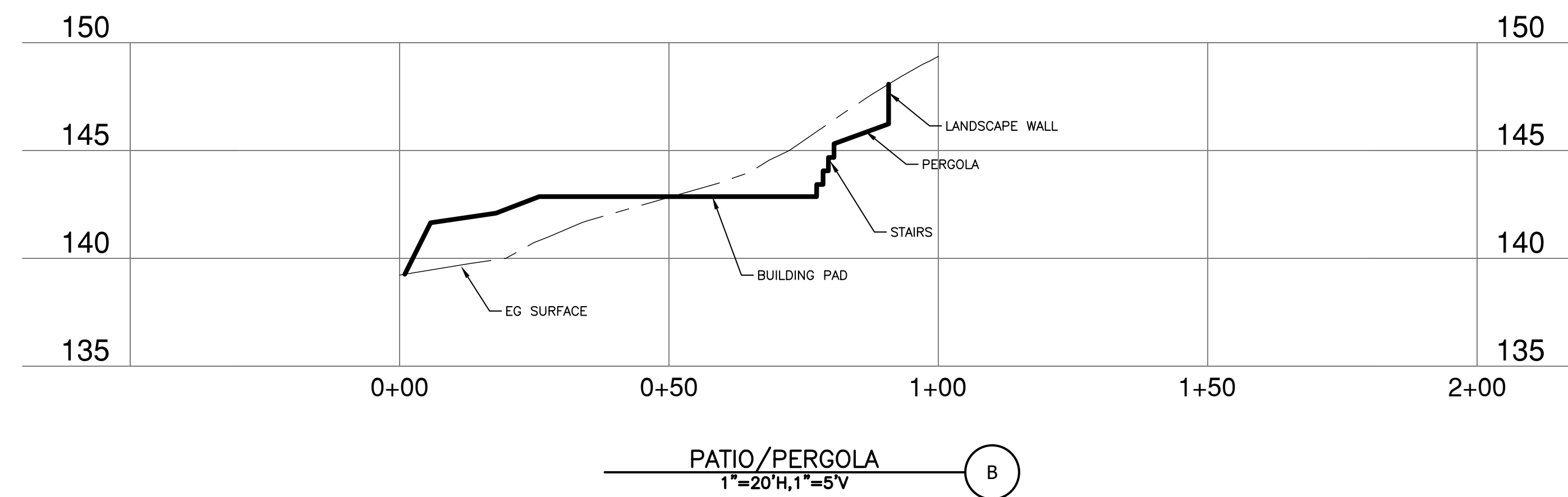
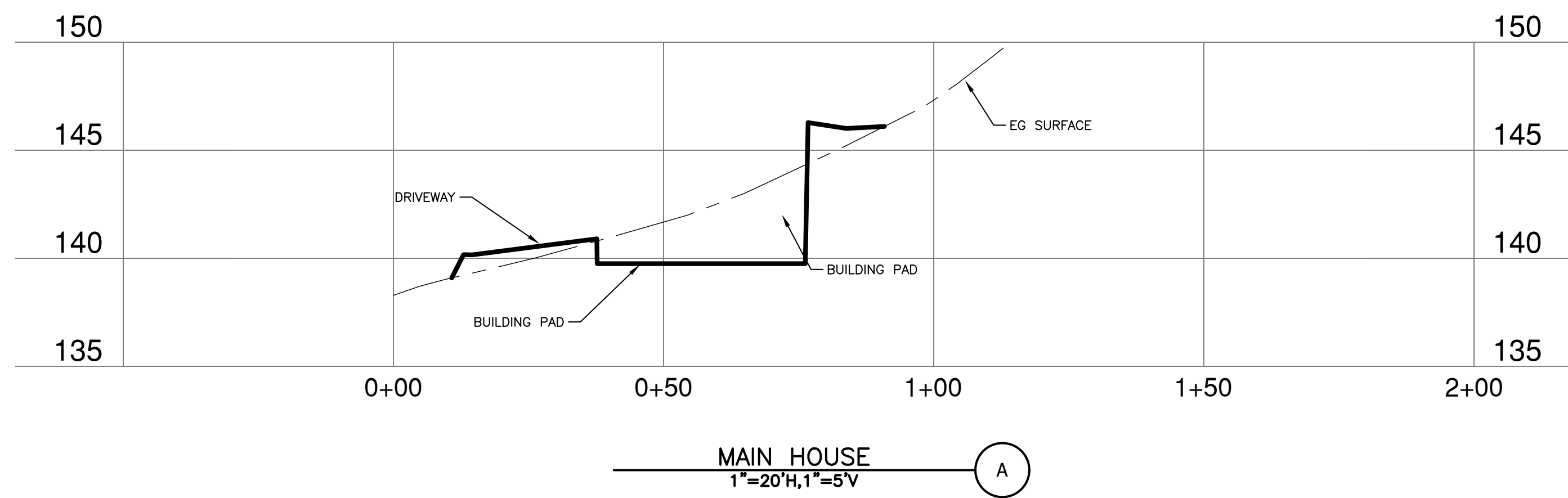
NO.	HISTORY / REVISION	BY / CHK.	DATE

SCHOCH RESIDENCE
 7XX FIRST STREET
 SEBASTOPOL, CA 95472

GRADING PLAN AND EARTHWORK



DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	10/26/2022
JOB NUMBER	9884.00
DRAWING	C1.0



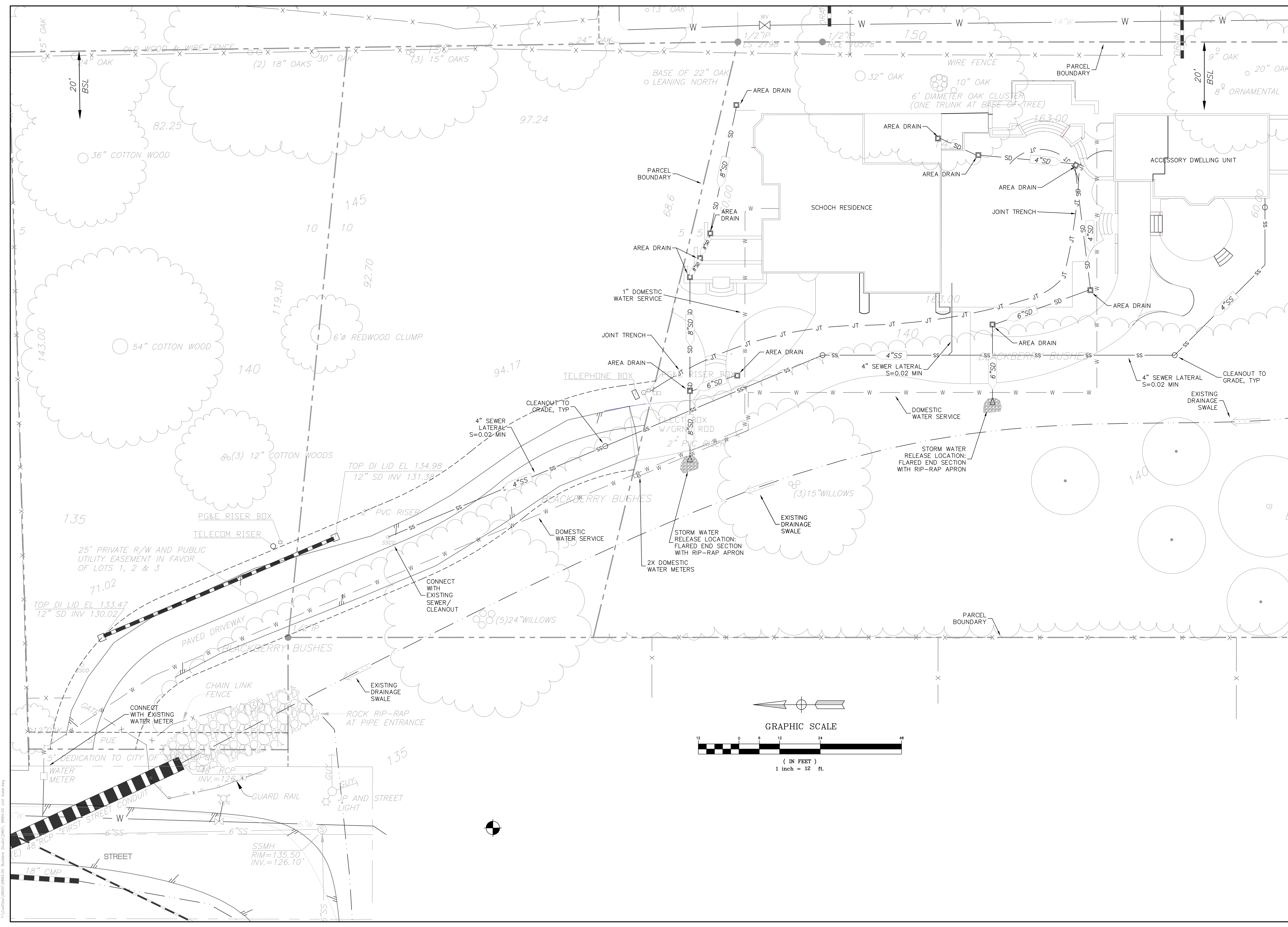
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NO.	HISTORY / REVISION	BY / CHK.	DATE

SCHOCH RESIDENCE
 7XX FIRST STREET
 SEBASTOPOL, CA 95472
CROSS SECTIONS



DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	10/26/2022
JOB NUMBER	9884.00
DRAWING	C2.0



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HISTORY / REVISION	BY	CHK.	DATE

SCHOCH RESIDENCE
 7XX FIRST STREET
 SEBASTOPOL, CA 95472

UTILITY PLAN



DRAWN	DDI
CHECK	CCM
APPROVED	
DATE	10/26/2022
JOB NUMBER	9884.00
DRAWING	C3.0

Oct. 26, 2022 - 10:31am
 T:\Clients\9884\9884.00 Builders - Sheds\DWG - 9884.00 - civil - base.dwg



1 MAIN RESIDENCE FRONT ELEVATION

NOTE: FOR INFORMATION NOT NOTED PLEASE REFER TO ARCHITECTURAL OR LANDSCAPE SHEETS AND ACCOMPANYING NOTES FOR ADDITIONAL DETAILS DETAILS REGARDING; FINISHES, MATERIALS, LOCATIONS AND HEIGHTS.

FOR '1E' PLEASE SEE ATTACHED SEPARATELY 8.5X11 CUT-SHEETS FOR BULB AND SENSOR INFORMATION.

PLEASE NOTE A CHANGE IN MATERIALS MAY REQUIRE RESUBMITTAL AND REVIEW FROM PLANNING BEFORE BUILDING PERMIT CAN BE FINALIZED.



1E EXTERIOR LIGHT FIXTURE
W/ TESLAR OR EQUIVELANT LED BULB 4.5
WATTS (3) PER FIXTURE



WITH OR WITHOUT CAP PER LANDSCAPE
DRAWINGS



'New England' STONE VENEER
OVER CONCRETE

1L RETAINING & LANDSCAPE WALLS
SEE LANDSCAPE PLANS
FOR LOCATIONS

Sherwin Williams
Crushed Ice 7647

D1 BASE COLOR
Sherwin-Williams 'Crushed Ice' SW7647

Vanillin SW 6371

D2 BASE COLOR
Sherwin-Williams 'Vanillin' SW6371



Rustic Craftsman Wood Stain
Weather Gray

E SPA TRELLIS STAIN
SEE ARCHITECTURAL PLANS
FOR TRELLIS LOCATION



Idaho Gold Quartzite
(Only at lower level steps & Patios)



'Road' TILE at steps and porch decks

I PATIO AND STAIR SURFACE
SEE ARCHITECTURAL AND LANDSCAPE
PLANS FOR LOCATIONS



MAIN DRIVEWAY (Permeable)
Techo-Bloc 'Pure' Paver in Sandalwood color (Or Similar)

J DRIVEWAY SURFACE
SEE LANDSCAPE PLANS
FOR PAVER DESIGNATIONS & LOCATIONS



TURN AROUND AT ADU
Lunix Eco permeable pavement (Or Similar)



A SIDING STYLE - 'James Hardie' Horizontal Siding
'JH' HORIZONTAL V-GROOVE SIDING



B LOWER SIDING - Stone Veneer
'New England' Stone



C WINDOW STYLE
'MARVIN' ELEVATE - WHITE



F TRIM - TRELLIS - RAILING COLOR
Sherwin-Williams Ceiling Bright White SW 7007



G DOOR COLOR
Sherwin-Williams Festoon Aqua SW 0019



H ROOFING - Asphalt Shingle
Dark Grey w/ 'Architectural' Shingle

CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.



1 ACCESSORY DWELLING UNIT FRONT ELEVATION

NOTE: FOR INFORMATION NOT NOTED PLEASE REFER TO ARCHITECTURAL OR LANDSCAPE SHEETS AND ACCOMPANYING NOTES FOR ADDITIONAL DETAILS DETAILS REGARDING; FINISHES, MATERIALS, LOCATIONS AND HEIGHTS.

FOR '1E' PLEASE SEE ATTACHED SEPARATELY 8.5X11 CUT-SHEETS FOR BULB AND SENSOR INFORMATION.

PLEASE NOTE A CHANGE IN MATERIALS MAY REQUIRE RESUBMITTAL AND REVIEW FROM PLANNING BEFORE BUILDING PERMIT CAN BE FINALIZED.



1E EXTERIOR LIGHT FIXTURE
W/ TESLAR OR EQUIVELANT LED BULB 4.5 WATTS (3) PER FIXTURE



WITH OR WITHOUT CAP PER LANDSCAPE DRAWINGS



'New England' STONE VENEER OVER CONCRETE

1L RETAINING & LANDSCAPE WALLS
SEE LANDSCAPE PLANS FOR LOCATIONS

Sherwin Williams
Crushed Ice 7647

D1 BASE COLOR
Sherwin-Williams 'Crushed Ice' SW7647

Vanillin SW 6371

D2 BASE COLOR
Sherwin-Williams 'Vanillin' SW6371



Rustic Craftsman Wood Stain
Weather Gray

E SPA TRELIS STAIN
SEE ARCHITECTURAL PLANS FOR TRELIS LOCATION



Idaho Gold Quartzite
(Only at lower level steps & Patios)



'Road' TILE at steps and porch decks

I PATIO AND STAIR SURFACE
SEE ARCHITECTURAL AND LANDSCAPE PLANS FOR LOCATIONS



ADU DRIVEWAY
3/8" ANGULAR CRUSHED GRANITE W/ EDGE



TURN AROUND AT ADU
Lunix Eco permeable pavement (Or Similar)

J DRIVEWAY SURFACE
SEE LANDSCAPE PLANS FOR PAVER DESIGNATIONS & LOCATIONS



A SIDING STYLE - 'James Hardie' Horizontal Siding
'JH' HORIZONTAL V-GROOVE SIDING



B LOWER SIDING - Stone Veneer
'New England' Stone



C WINDOW STYLE
'MARVIN' ELEVATE - WHITE



F TRIM - TRELIS - RAILING COLOR
Sherwin-Williams Ceiling Bright White SW 7007



G DOOR COLOR
Sherwin-Williams Festoon Aqua SW 0019



H ROOFING - Asphalt Shingle
Dark Grey w/ 'Architctural' Shingle

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Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

CHECKED	DRAWN	DESIGNED	DESCRIPTION	DATE	REV.

SCHOCH RESIDENCE
New Residence and ADU
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

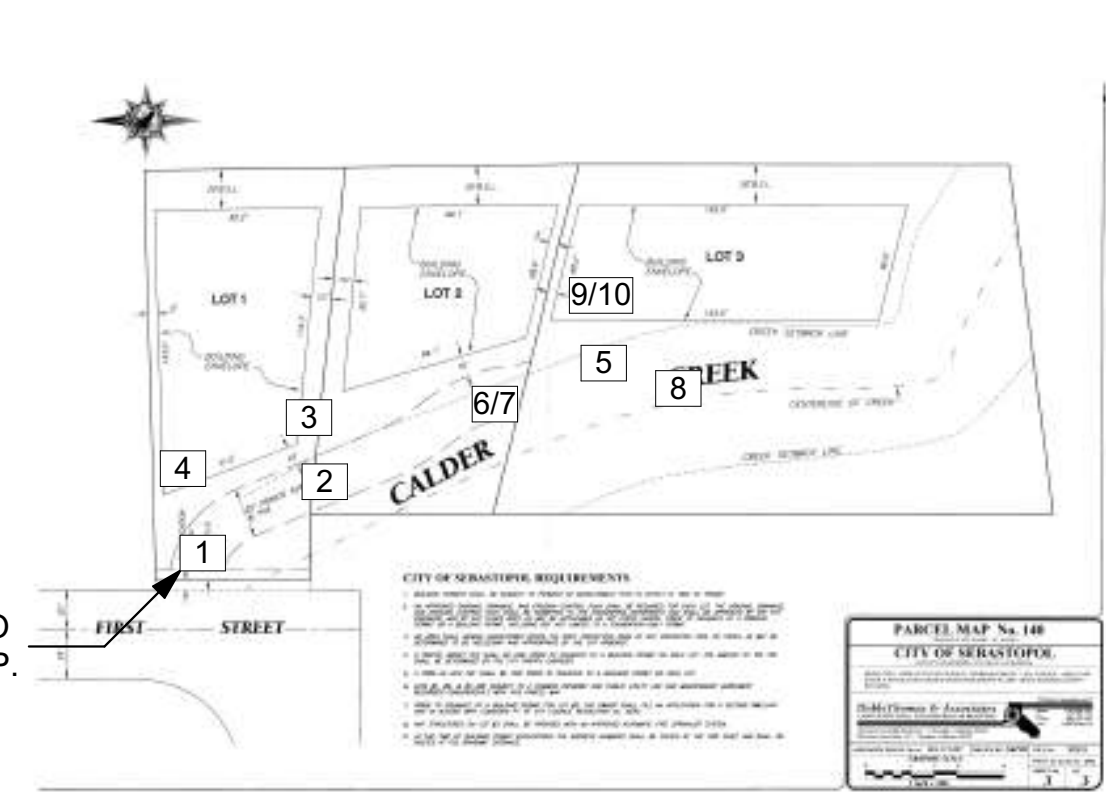
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A-DR2

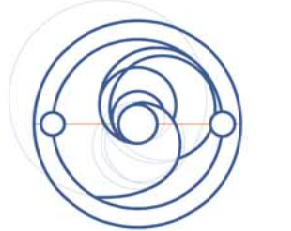
Scale

NOTE: PHOTOS TAKEN ONSITE 4/27/2021 AT APPROXIMATELY 3:30PM ON A SUNNY AND CLEAR DAY.



APPROXIMATE PHOTO LOCATION, TYP.

LOCATION MAP



Builders Studio
OF SEBASTOPOL
555 SO. MAIN STREET SUITE 1
SEBASTOPOL, CALIFORNIA 95472
OFFICE: (707) 827-3388 FAX: (707) 827-3253
WWW.BUILDERSSTUDIOINC.COM
CSL: 878243

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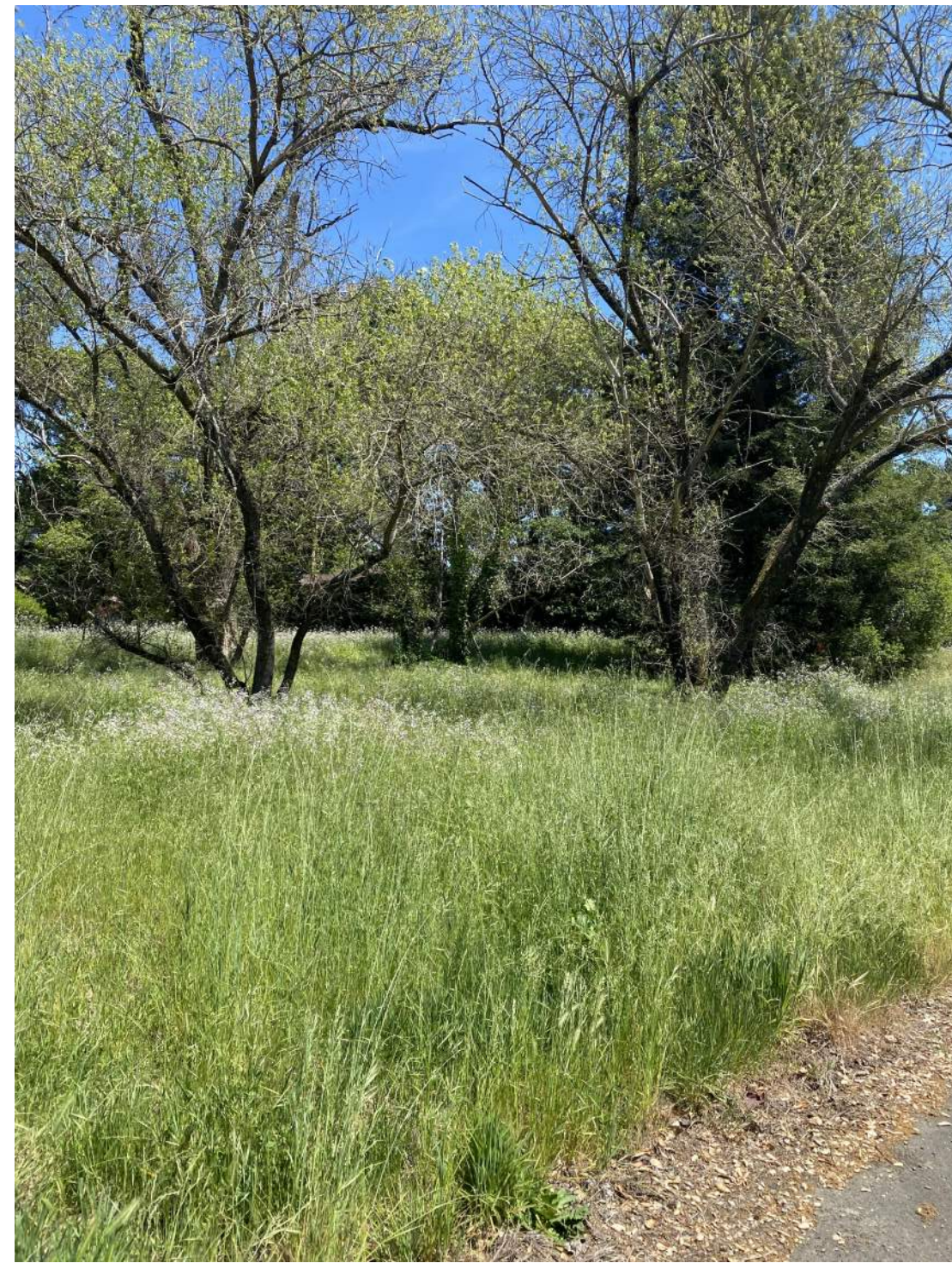
REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



1 PROPERTY ENTRANCE



2 EXISTING ASPHALT DRIVEWAY (SOUTH)



3 EXISTING VEGETATION AND TREES



4 EXISTING NORTH PROPERTY LINE



5 PROPOSED PROJECT LOCATION



6 EXISTING ASPHALT DRIVEWAY (NORTH)



7 END OF (E) DRIVEWAY



8 PROPOSED PROJECT LOCATION (SOUTH)



9 PROPOSED PROJECT LOCATION (S/E)



10 PROPOSED PROJECT LOCATION (SOUTH)

SCHOCH RESIDENCE
New Residence and ADU
7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

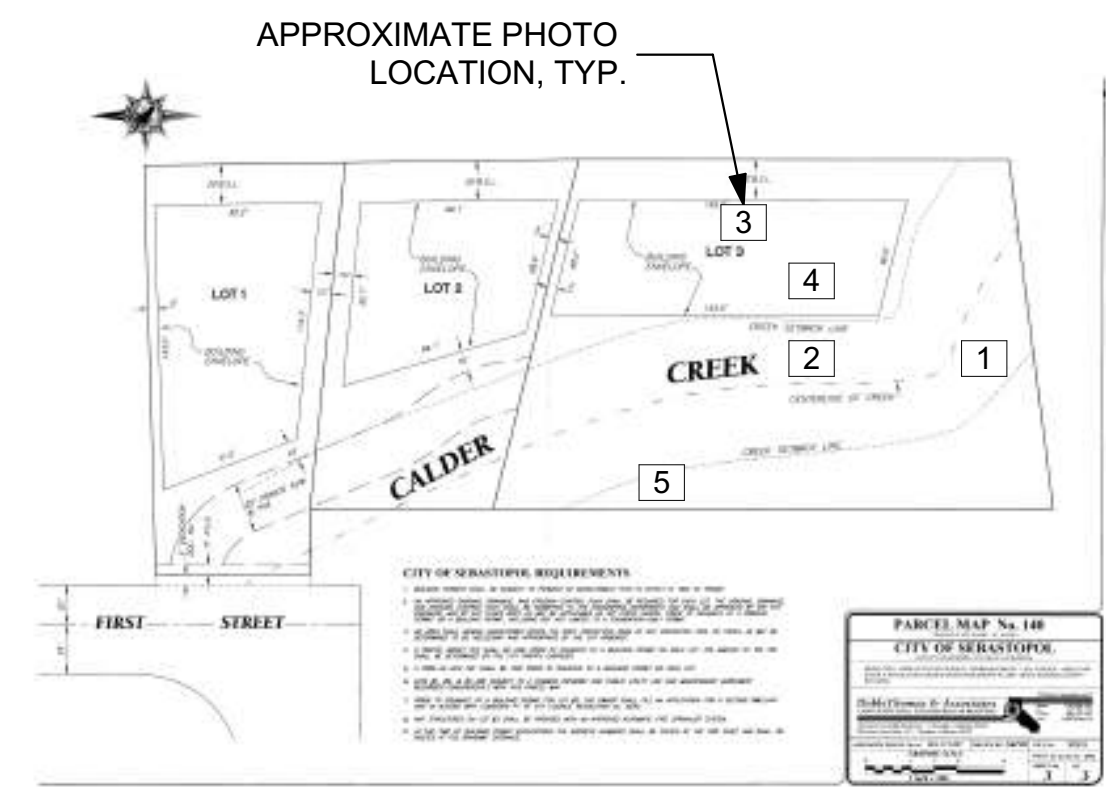
DATE: 10-14-22

Sheet

A-DR3

Scale

NOTE: PHOTOS TAKEN ONSITE 10/18/2022 AT APPROXIMATELY 3:30PM ON A SUNNY AND CLEAR DAY.



LOCATION MAP

Builders Studio
 OF SEBASTOPOL
 555 SO. MAIN STREET SUITE 1
 SEBASTOPOL, CALIFORNIA 95472
 OFFICE: (707) 827-3388 FAX: (707) 827-3253
 www.BUILDERSSTUDIOINC.com
 CSL: 878243

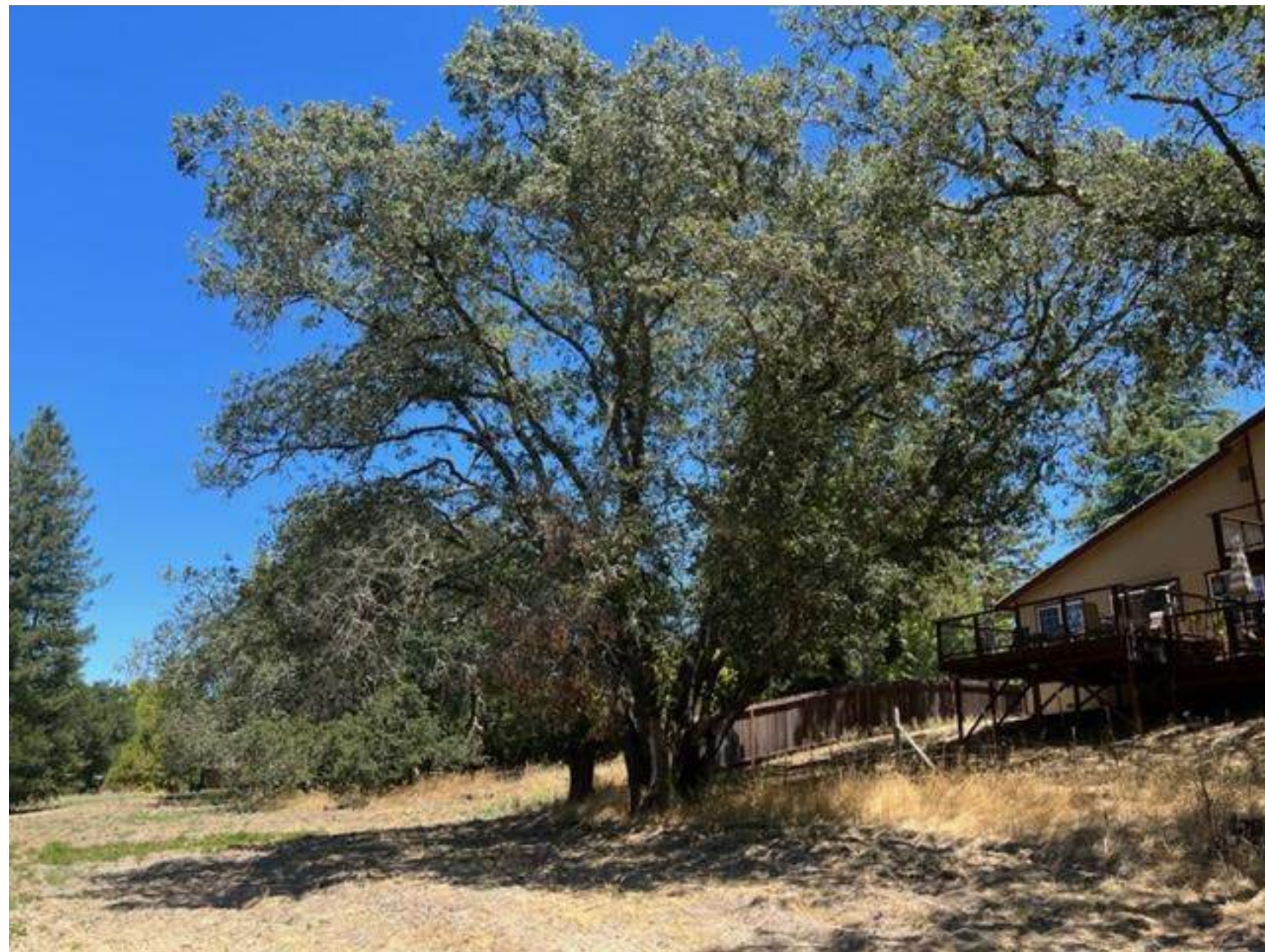
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Drawing scales as indicated are for reference only and are not intended to accurately depict actual or designed conditions. Written dimensions shall govern.

REV.	DATE	DESCRIPTION	DESIGNED	DRAWN	CHECKED



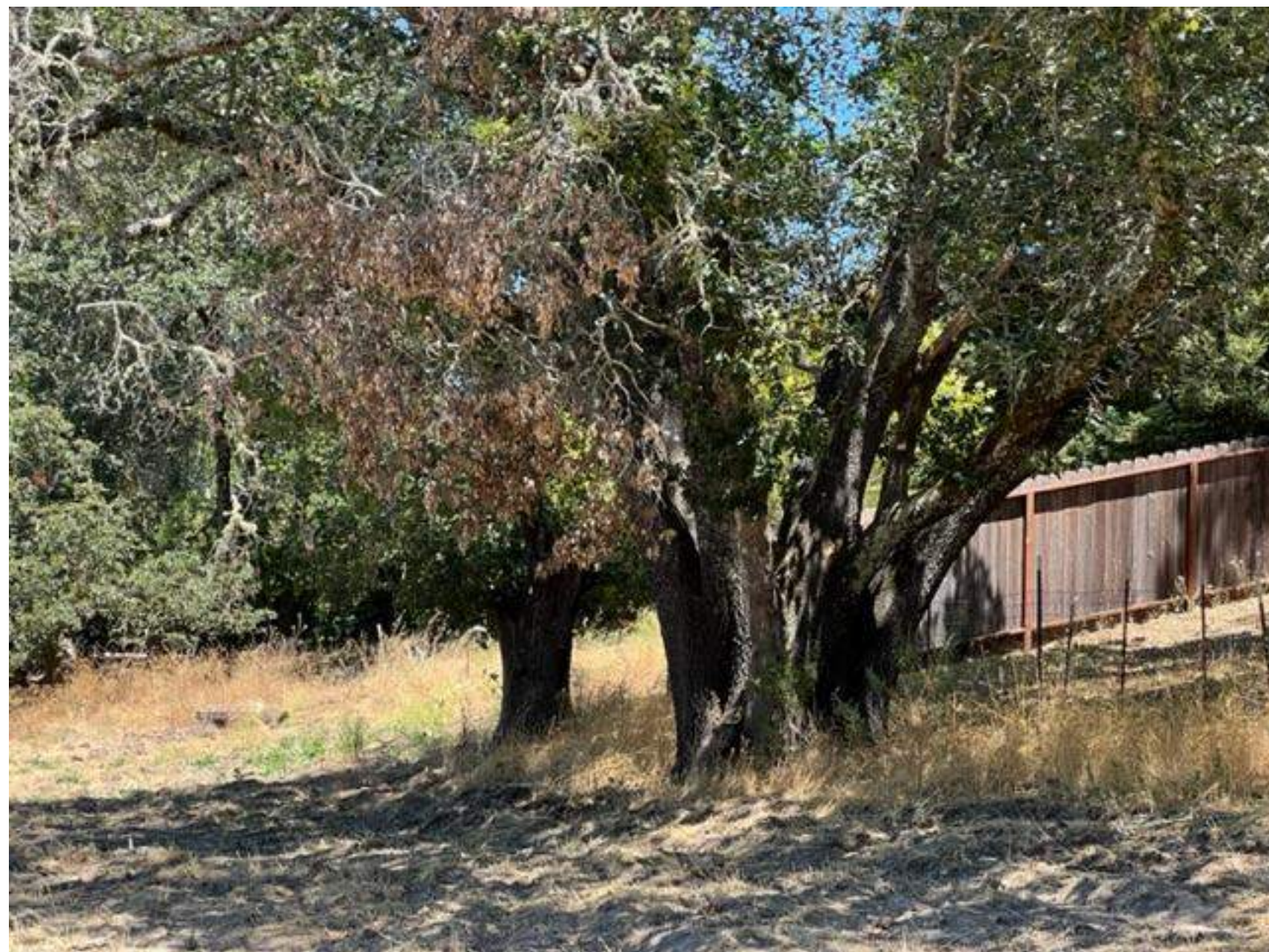
1 TREE NUMBER 5 WITH BROKEN LIMBS



2 TREE NUMBER 5 WITH BROKEN LIMBS



3 TREE NUMBER 5 WITH BROKEN LIMBS



4 TREE NUMBER 5 WITH BROKEN LIMBS



5 TREE NUMBER 7 WITH BROKEN LIMBS

SCHOCH RESIDENCE
 New Residence and ADU
 7xx First Street • SEBASTOPOL • CALIFORNIA • 95472

DATE: 10-14-22

Sheet

A-DR4

Scale