



## City of Sebastopol Design Review Board Staff Report

Meeting Date: April 6, 2022  
Agenda Item: 6A  
To: Design Review Board  
From: John Jay, Associate Planner  
Subject: Design Review  
Recommendation: Approval with Conditions

Applicant/Owner: Peggy Leander  
File Number: 2021-032  
Address: 911 Litchfield Avenue  
CEQA Status: Exempt  
General Plan: Medium Density Residential  
Zoning: R4 Single-Family-Residential

### **Introduction:**

The applicant is proposing a new single family dwelling of 1800 square feet with a 2-car garage on an undeveloped lot at 911 Litchfield Ave.

### **Project Description:**

The project for this new single family dwelling of 1800 square feet will include a two 2-car garage, grading work of 335 cubic yards of cut, 85 cy of fill, and 250 cy of off-haul. Revisions to the existing retaining wall onsite as well as a new walkway.

The lot is somewhat steeply sloped and shares a driveway and public utility easement with the upslope parcel, 921 Litchfield Ave. The project includes a drainage easement agreement with the neighbors at 931 Litchfield Avenue. The lot is unique in that the slope and location of drainage easements limits the amount of developable area. The site does also include the need for a tree protection plan as there are multiple trees slated for removal to develop the property.

### **Environmental Review:**

This project qualifies for a Class 3 CEQA exemption as noted in section 15303.a “One single-family residence, or a second dwelling unit in a residential zone. In urbanize areas, up to three single-family residences may be constructed or converted under this exemption.”

### **General Plan Consistency:**

The project is consistent with the General Plan in that it creates a new permanent single-family residence on an undeveloped residential lot. As this is consistent with Genera Plan Land Use policy LU 1-7 “Encourage new development to be contiguous to existing development, whenever possible.”

### **Zoning Ordinance Consistency:**

The project is consistent with the Zoning Ordinance in that it proposes a single-family residence within a R4 single family residential zoning district. The project is also consistent with the development standards set forth in Table 17.20-2 by meeting the height requirements, setbacks, lot coverage, and is also permitted by right within this zoning district.

**Public Comment:**

As of writing this staff report the Planning Department has not received any public comment.

**City Departmental Comment:**

The Planning Department routed this application to the other city departments for comments. The Engineering Department was the only department to raise major concerns about the building located on top of the existing private drainage easement as well as additional work within the public utility easement. With that, Engineering will require an easement agreement, executed by the applicant, and reviewed by the City for the property owner of 911 Litchfield and the owner of the easement at 931 Litchfield.

**Required Findings:**

Chapter 17.450.030(b) sets forth the required findings of Design Review permits.

In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

1. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol;
2. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way;
3. It would not impair the desirability of investment or occupation in the neighborhood;
4. The design is internally consistent and harmonious;
5. The design is in conformity with any guidelines and standards adopted pursuant to this chapter.

The project will also be subject to the findings set forth in Chapter 8.12.060(D) for tree removal:

*Tree Removal Criteria.* An application for a tree removal permit may be approved only when at least one of the following conditions is satisfied, and that condition has been verified by the City Arborist. In the case of single-family and duplex properties, upon noticing the tree removal request, the City Arborist shall consider the application and its merits under the requirements of this chapter. For all other applications, the Tree Board shall conduct a public hearing, consider the concerns of the applicant, as well as the value of the tree to the greater community during its review of a tree removal permit, and issue a determination.

1. The tree is diseased or structurally unsound and, as a result, is likely to become a significant hazard to life or property within the next two years.
2. The tree poses a likely foreseeable threat to life or property which cannot be reasonably mitigated through pruning, root barriers, or other management methods.

3. The property owner can demonstrate that there are unreasonably onerous recurring maintenance issues, which are deemed necessary for safety or protection of property. The property owner is responsible for providing documentation to support such a claim.
4. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal.
5. The tree has matured to such an extent that it is determined to be out of scale with adjacent structures and utilities, or with other landscape features.

**Analysis:**

*Technical Issues:*

When this project originally came in, staff had concerns with the location of permanent structures being placed within both the private drainage easement that is in favor of lot 3 (931 Litchfield) as well as within the public utility/driveway easement area. After working with the Engineering Department and expressing concerns about the structures within the easement, Engineering noted that with an easement agreement that allows for the construction of the improvement but maintains the drainage structure between the two property owners would suffice for them and Planning. Staff does recommend that the maintenance responsibilities related to this easement be clarified in the easement agreement (i.e. who pays for what if the drainage easement needs to be replaced in the future, and the proposed construction needs to be removed). While this is regulated by civil codes, it is often best for all parties if these responsibilities are laid out in the easement agreement.

The work within the driveway/public utility easement originally included a relocated retaining wall (just north of the new retaining wall), and flatwork and steps leading off of the easement at the project building entry within the southern portion of the public utility / driveway easement. Staff worked with the applicant and designers to revise the amount of work originally proposed within the public utility easement to flatwork that could be easily removed (the stair landing is now outside of the easement, and the landscape steps in the easement are stone slabs that could be removed and reinstalled instead of poured concrete). The new retaining wall as originally proposed is closer to the south edge of the easement than the current easement, and is acceptable as originally proposed. This allows the site to have a pedestrian path differentiated from the driveway along the south side of the easement and enhance pedestrian access this and the uphill lot, while still limiting construction in the easement. Additionally, the applicant will need to record a deed restriction noting that, should the work need to be removed by the City or another public utility with easement rights, it shall be removed and replaced at the cost of the property owner.

*Design Review*

All Design Review projects are subject to the Design Review Guidelines and staff feels that this project meets those guidelines as described in the analysis below:

## **SITE PLANNING:**

*Neighborhood context:* this project meets this requirement in that the design of the home is similar in nature to the surrounding residential buildings along with the overall scale of the proposed home.

*Circulation and Parking:* This project meets this requirement in that it proposes an attached two car garage located outside of the front setbacks. (Front setback is taken from the northern property line, not from the easement limit). Additionally, the revisions to the retaining wall along the driveway easement will allow for pedestrian access up the hill to both this home and 921 Litchfield Avenue.

*Open space:* This project meets this requirement in that it proposes ample back yard room with landscaping features that blend into the site and design of the structure. The space is accessible from the first floor of the building and wraps around both sides of the home with plenty of outdoor gardening space.

*Grading and Storm Water:* This project meets this requirement even though it will require a fair amount of grading work on site. The project still meets the requirement of minimized work to existing topography in that the building is designed in a way that flows with the natural slope of the site. However, work will be done to accommodate the two-car garage, and this is a common practice when developing hillside lots. While the cut amounts as shown in the grading plan are large overall most of the work will be done for the cut out of the garage, the rest of the home will be terraced on the site which promotes minimal work for the rest of the building. The back patio area also includes permeable pavers which will help for water absorption as well as promoting other landscape features to catch surface water as it runs down the site.

## **ARCHITECTURE:**

*Relationship to surrounding architecture:* This project meets this requirement in that this design style is the same as 921 Litchfield. It is being done by the same design group who received approval from the Design Review Board in 2016, and is a similar aesthetic

*Massing:* This project meets this requirement in that the proposed building the exterior façade of the building is broken up on multiple planes to not give the appearance of one large box like mega structure. A variety of planes are proposed as the building steps up the hillside, which gives the home a two-story look from a street view. The design has been done in compliance with the building height requirements of the Municipal code.

*Elements:* The project meets this requirement in that it promotes larger windows to incorporate more natural light as well as solar panels on the larger rooftop area. The proposed building colors are cooler in tone and should produce less reflectivity on the neighboring properties.

## **LANDSCAPING:**

*General:* This project meets the general landscaping requirements in that it promotes a robust landscape plan that is designed for low to moderate water use along with using as many native plants as possible to Sonoma County and the climate region. The planting plan, as attached plans, maximizes the space on the lot to not have any large unplanted areas.

### *Tree Removal Permits*

This project will be subject to a Tree Protection Plan and tree removal permit which will be reviewed by the city arborist and staff.



The project requires removal of three Heritage (3) Coast Live Oaks, seven (7) Douglas Firs, and one (1) California Black Oak within the footprint of the house structure. In total it will result in the removal of 11 total Heritage trees. The larger trees along Litchfield Avenue will be protected.

The removal 11 trees will require 22 (11x2) replacement trees. The applicant is proposing to re-plant three either Ginkgo or Black Gum trees on the site, which will provide additional screening for the site along Litchfield Avenue.

Becky Duckles, City Arborist, has reviewed both the proposed removals and the Tree Protection Plan, and determined that the removal of the 11 trees is reasonable to allow development on this site. She also mentions that the replacement of three Ginkgo biloba or Nyssa sylvatica are both well sited and attractive for the site. Also mentioning the other proposed landscape plans are low water and California natives.

**Recommendation:**

If it is the consensus of the Board that the proposed single-family residence is compatible with the site, staff recommends that the application be approved based on the facts, findings, and analysis set forth in this staff report, and subject to the conditions of approval outlined.

Alternatively, the Board may find that revisions are necessary, and a continuance is appropriate. Staff recommends that the Board provide direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

**Attachments:**

Project application materials  
City Arborist Tree Removal Assessment  
Exhibit A Findings for Approval  
Exhibit B Conditions of Approval

**EXHIBIT A**  
**RECOMMENDED FINDINGS OF APPROVAL**

Design Review  
911 Litchfield Ave  
004-134-016, File 2021-032

1. The project/use/proposal is categorically exempt from the requirements of CEQA under Section 15303(a), which exempts “One single-family residence, or a second dwelling unit in a residential zone. In urbanize areas, up to three single-family residences may be constructed or converted under this exemption.”
2. The project/use/proposal is consistent with the provisions of the General Plan, in that it is a single-family residence in a Medium Density Residential Land Use zone that allows single-family residential use, and provides additional housing opportunities within the community.
3. The project/use/proposal is consistent with the Zoning Ordinance, in that it is a single-family dwelling in the R4-Residential zoning district and meets the development standards of that zoning district.

The project/use/proposal is consistent with the Design Review Guidelines in that:

4. The design of the proposal would be compatible with the neighborhood and with the general visual character of Sebastopol, in that the proposal incorporates architectural features seen within the neighborhood;
5. The design provides appropriate transitions and relationships to adjacent properties and the public right-of-way, in that the driveway is accessed through an access easement located on the north end of the parcel;
6. It would not impair the desirability of investment or occupation in the neighborhood in that it proposes to construct a one-story single-family dwelling within a residentially zoned neighborhood;
7. The design is internally consistent and harmonious in that the design is a single-story residence and the design of the home flows internally along with the slope of the site;

The proposed Tree Removal permits are consistent with SMC Section 8.12.060(D), Tree Removal Section the Design Review Guidelines in that removal criteria are met as follows:

8. A situation exists or is proposed in which structures or improvements, including, but not limited to, building additions, second units, swimming pools, and solar energy systems, such as solar panels, cannot be reasonably designed or altered to avoid the need for tree removal in that Trees #3 Douglas Fir, #4 Coast Live Oak, #5 California Black Oak are located within the building footprint and would need to be removed for construction. Trees #1 Coast Live Oak, #2 Douglas Fir, #6 Douglas Fir, #7 Douglas Fir, #8 Douglas Fir, #9 Coast Live Oak are located within 7-14’ of the building envelope and will not likely

tolerate construction. Tree #11 Douglas fir as this tree is located outside of building activities it is necessary to remove it based on solar panel collection.

**NOTE**

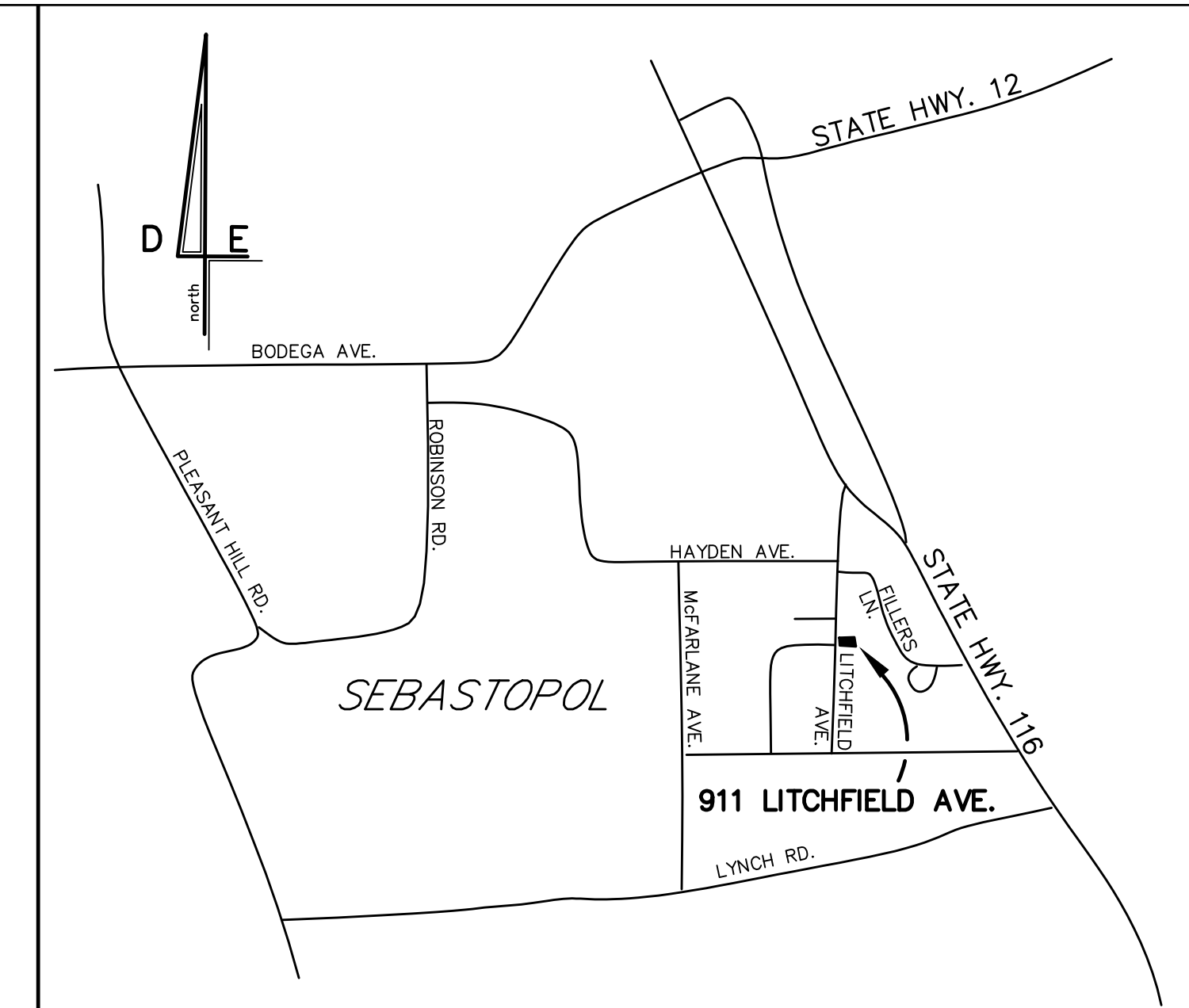
DIMENSIONS 4 ENGINEERING, INC. IS NOT AN ENGINEERING CONTRACTOR, NOR SHOULD OUR RENDERING OF CUT AND FILL EARTHWORK VOLUMES BE CONSIDERED EQUIVALENT TO THE NATURE AND EXTENT OF SERVICE AN ENGINEERING CONTRACTOR WOULD PROVIDE. THIS ESTIMATE IS BASED SOLELY ON OUR OWN ANALYSIS, WHICH IS AS ACCURATE AS THE INFORMATION PROVIDED TO US IN REGARDS TO EXISTING TOPOGRAPHY. THIS ANALYSIS WILL NOT REFLECT THE LOCALIZED SITE CONDITIONS NOT REPRESENTED ON THE TOPOGRAPHIC SURVEY, NOR DOES IT TAKE INTO EFFECT FACTORS SUCH AS CONSTRUCTION DEBRIS THAT MAY BE ENCOUNTERED DURING EXCAVATION, SHRINKAGE, SWELL, LOSS DURING TRANSPORT AND SUBSIDENCE. THIS EARTHWORK VOLUME ANALYSIS SHOULD NOT BE USED FOR BID PURPOSES. DUE TO THESE FACTORS, DIMENSIONS 4 ENGINEERING CANNOT GUARANTEE THE ACCURACY OF OUR EARTHWORK VOLUME ESTIMATE BEYOND USE AS A PLANNING TOOL.

**CUMULATIVE GRADING QUANTITIES**

SITE WORK	CUT	FILL
HOUSE SITE	335 C.Y.	85 C.Y.
IMPORT/EXPORT	250 C.Y. (EXPORT)	

- NOTES:
- 1) CUT/FILL VOLUME ADJUSTMENT OF 15% HAS NOT BEEN FACTORED INTO THE CUT VOLUMES
  - 2) OWNER & CONTRACTOR TO BE RESPONSIBLE TO OFF-HAUL SURPLUS GRADING MATERIAL TO AN APPROVED SITE WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS APPLIED.

# IMPROVEMENT PLANS 911 LITCHFIELD AVENUE SEBASTOPOL, CALIFORNIA PEGGY LEANDER



**LOCATION MAP**  
N.T.S.

**INDEX OF SHEETS**

SHEET NO.	TITLE
C1	TITLE SHEET
C2	GRADING PLAN SHEET
C3	NOTES & DETAILS SHEET
C4	EROSION CONTROL SHEET

**California Council of Civil Engineers & Land Surveyors**

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of the design professional.

**REVISIONS**

REVISION	DATE	BY
△		

**LEGEND**

A.B. = AGGREGATE BASE	G.V. = GATE VALVE	S.W.E. = SIDEWALK EASEMENT
A.C. = ASPHALT CONCRETE	I.G. = INVERT GRADE	tw = TOP OF WALL
A.S.B. = AGGREGATE SUBBASE	I.P. = IRON PIPE, SIZE AS NOTED	bw = BASE OF WALL
B.V.C. = BEGIN VERTICAL CURVE	J.P. = JOINT POLE	tc = TOP OF CURB
C.B. = CATCH BASIN	L.F. = LINEAL FEET	T.G. = TOP OF GRATE
C.I. = CURB INLET	NT = NEW TREE	TYP. = TYPICAL
C.L. = CENTERLINE	P.I. = POINT OF INTERSECTION	⊗ = TREE TO BE REMOVED
C.M.P. = CORRUGATED METAL PIPE	P.L. = PROPERTY LINE	W.M. = WATER METER
CONC. = CONCRETE	P.U.E. = PUBLIC UTILITIES EASEMENT	—W— = EX. WATER LINE
D.I. = DROP INLET	R = RADIUS	—S— = EX. SEWER LINE
D/W = DRIVEWAY	R.C.P. = REINFORCED CONCRETE PIPE	—SD— = EX. STORM DRAIN
E.P. = EDGE OF PAVEMENT	RED. = REDUCER	—G— = EX. GAS LINE
ESMT. = EASEMENT	R/W = RIGHT OF WAY	—E— = EX. UNDERGROUND ELECTRIC
E.V.C. = END VERTICAL CURVE	S = SLOPE	—GATV— = EX. UNDERGROUND CABLE T.V.
EX. = EXISTING	S.D. = STORM DRAIN	—T— = EX. UNDERGROUND TELEPHONE
EX. = EXISTING	S.S.C.O. = SANITARY SEWER CLEANOUT	— = APPROXIMATE PROPERTY LINE
F.L. = FLOWLINE	S.S.M.H. = SANITARY SEWER MANHOLE	• = EX. SPOT ELEVATION
F.H. = FIRE HYDRANT	STD. = STANDARD	100 ~ = EX. GROUND CONTOUR
G.B. = GRADE BREAK	S/W = SIDEWALK	⊙ = STREET LIGHT

**GEOTECHNICAL REFERRAL**

SOILS INVESTIGATION REPORT FOR SHARROCK'S MINOR SUBDIVISION, LOT 1, DATED 01/23/04 UNDER PROJECT NO. 3224.1.1 BY GIBLIN ASSOCIATES AND SUPPLEMENTED BY REESE & ASSOCIATES DATED 5/18/15 UNDER PROJECT NO. 784.1.13.

CONTRACTOR TO BE FAMILIAR WITH AND FOLLOW ALL CONSTRUCTION REQUIREMENTS AS ADDRESSED IN THE SOILS REPORT.

**PROJECT DISTURBANCE AREA**

0.17 ACRES ±

**PROPERTY OWNER INFORMATION**

OWNER: PEGGY LEANDER  
MAILING ADDRESS: 44503 N. EL MACERO DRIVE  
DAVIS, CA. 95618

**PURPOSE STATEMENT**

THESE PLANS ARE BEING PREPARED FOR THE PURPOSE OF CONSTRUCTING A HOUSE PAD WITH ACCOMPANYING DRIVEWAY TO EXISTING PRIVATE RD.

**TOPOGRAPHIC NOTE**

LOT MAPPING: CINQUINI & PASSARINO, INC.  
PREPARED ON 8/02/2000

PRIVATE DRIVEWAY: DIMENSIONS 4 ENGINEERING, INC.  
PREPARED ON 7/21/2015

APPROVED:  
CITY OF SEBASTOPOL

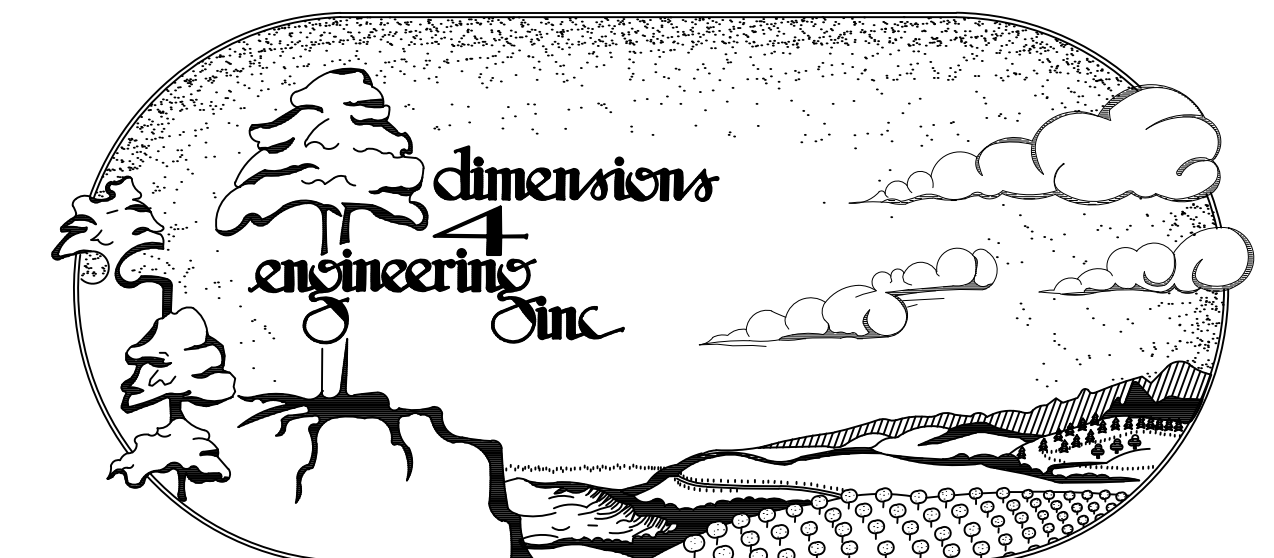
JOSEPH A. GAFFNEY  
CITY ENGINEER

PREPARED:

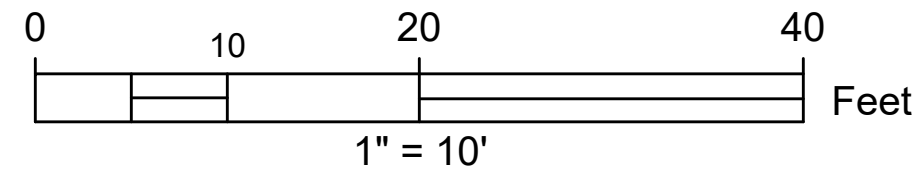
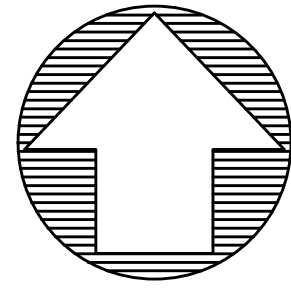
Preliminary 12/23/21  
DAN WRIGHT, R.C.E. 22296 DATE

**HOUSE SITE GRADING PLAN**

FOR  
PEGGY LEANDER  
AT  
911 LITCHFIELD AVENUE  
SEBASTOPOL, CALIFORNIA  
LOT 1, P.M 146 (678M28-31)  
APN 004-134-016



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2952 MENDOCINO AVENUE, SANTA ROSA CA. 95403 (707) 578-3433



#### TREE PROTECTION NOTES

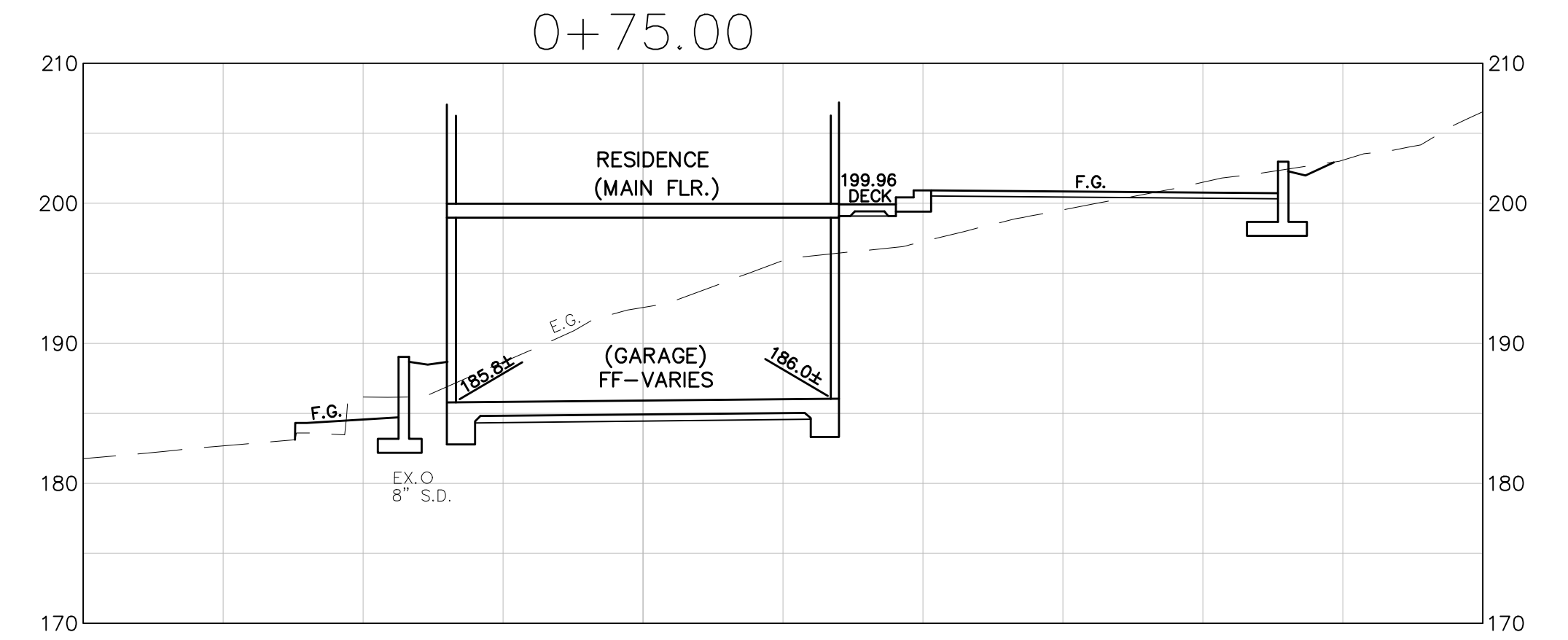
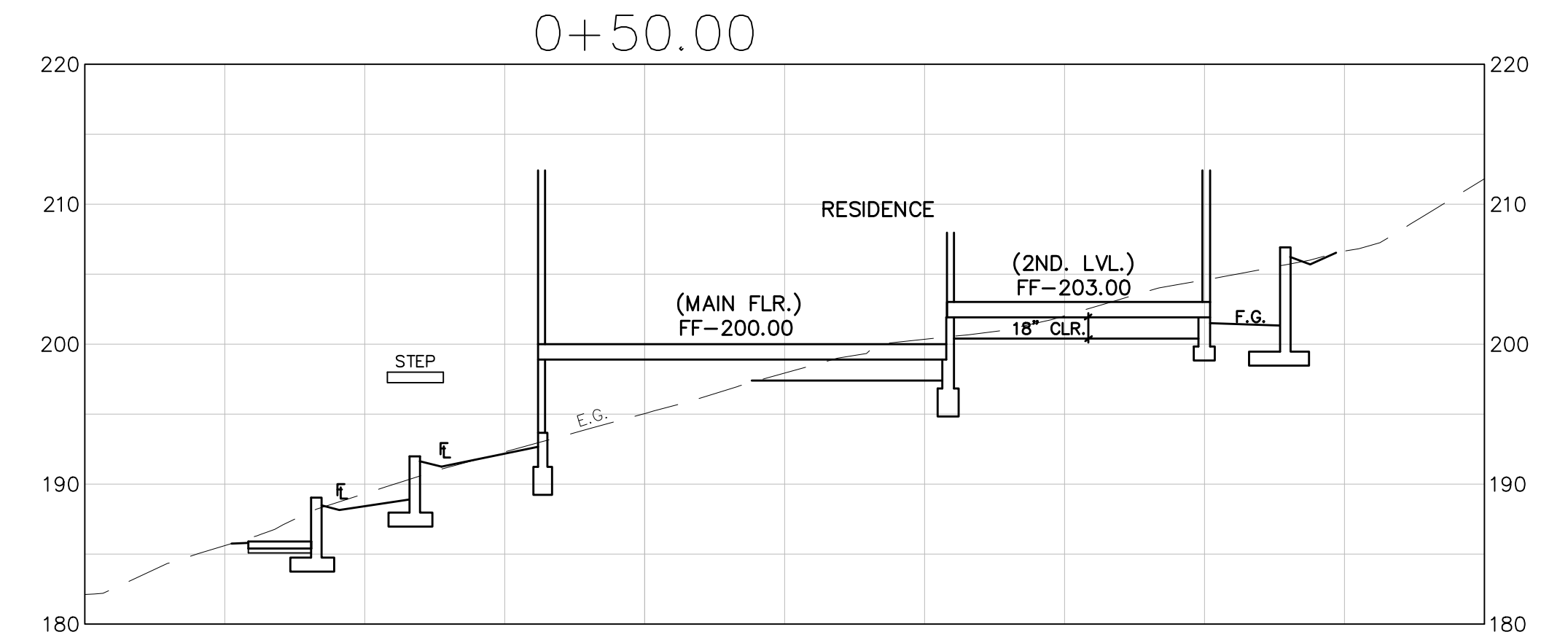
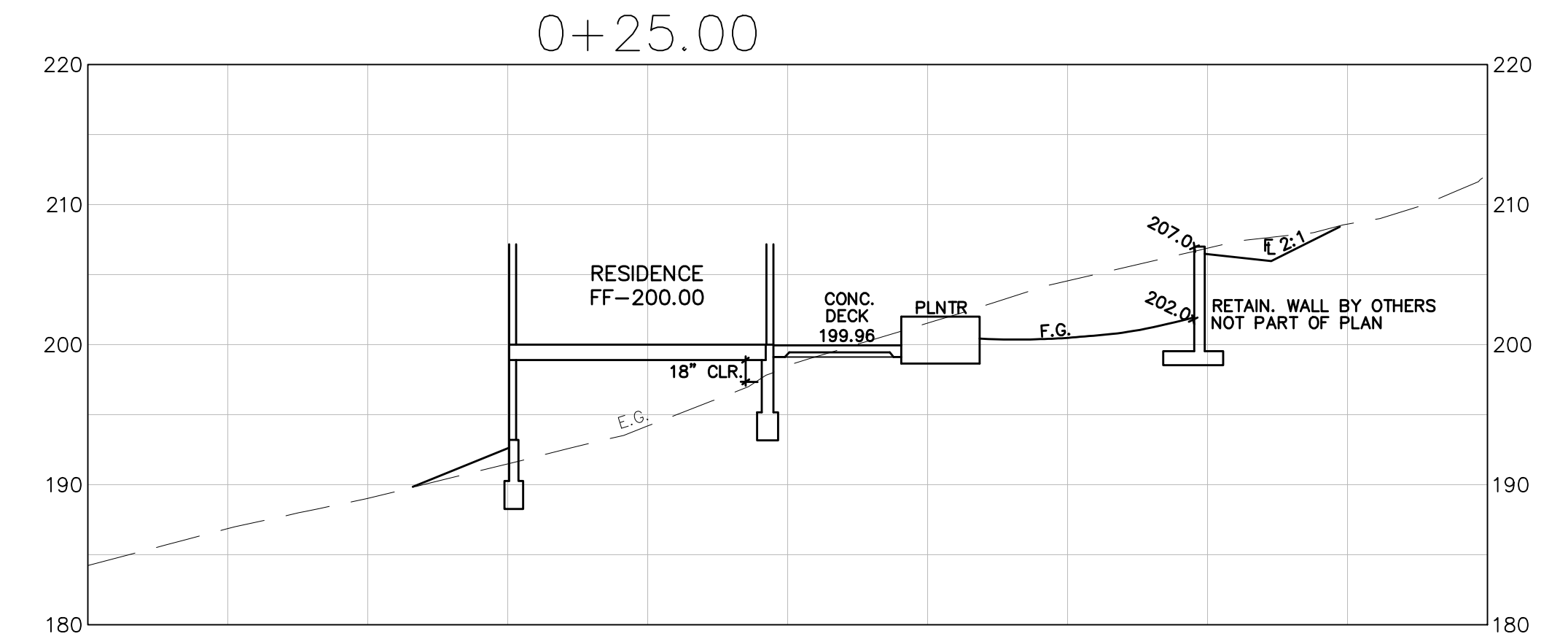
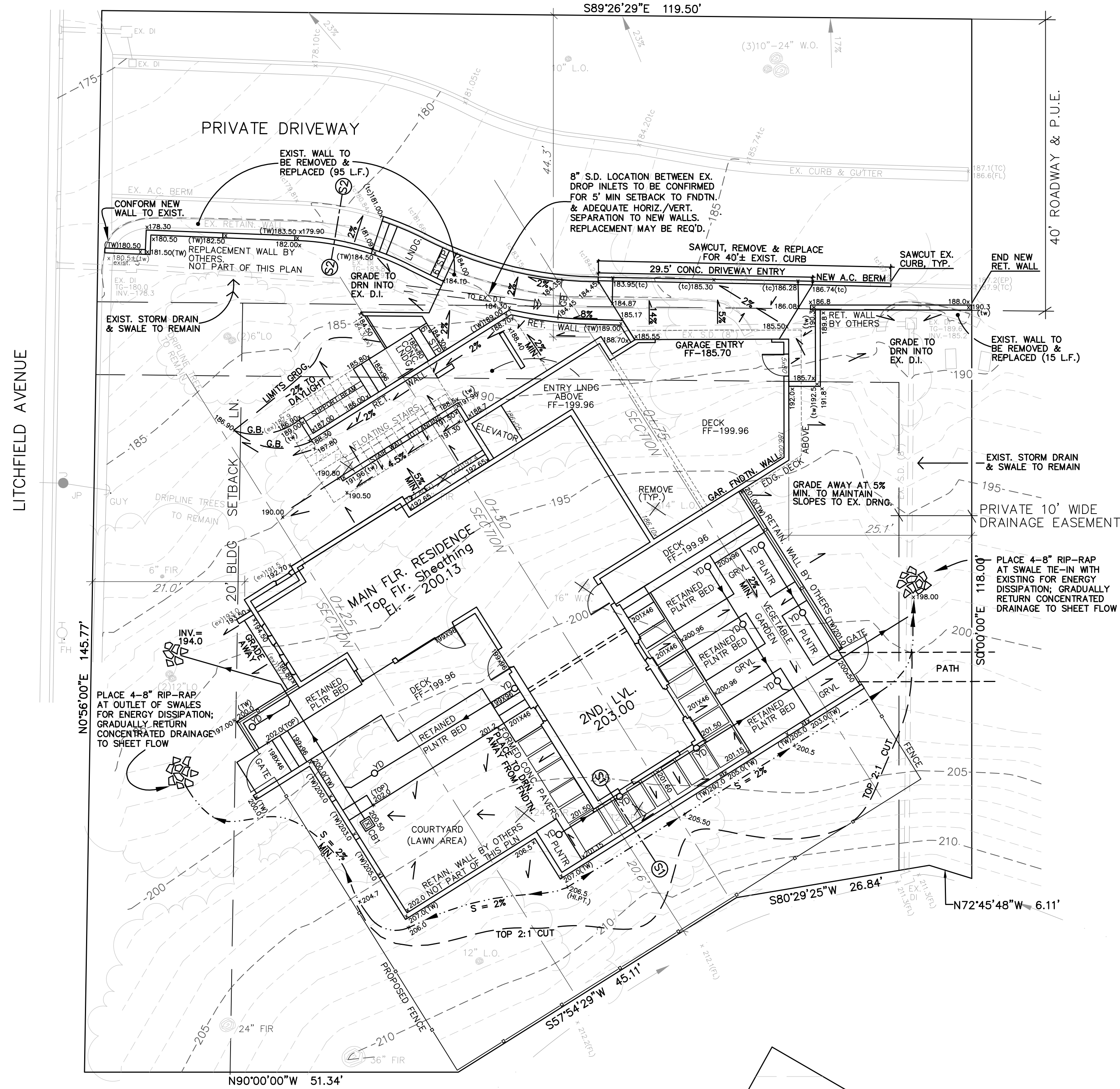
- 1) CONTRACTOR SHALL MAINTAIN TREE PROTECTION FENCING AT ALL TIMES DURING CONSTRUCTION.
- 2) NO STORAGE OF MATERIALS, STOCKPILES, EQUIPMENT, ETC., WITHIN TREE DRIFLINES TO BE SAVED.
- 3) ANY EXCAVATION OF FILL WITHIN TREE DRIFLINES SHALL BE OBSERVED BY PROJECT ARBORIST.
- 4) CONTRACTOR SHALL NOT CUT ANY ROOTS FOR TREES TO BE SAVED GREATER THAN 2" DIA. WITHOUT PROJECT ARBORIST APPROVAL.

#### UNDERGROUND DRAINAGE STRUCTURES

- C.B.#1  
INSTALL N.D.S. MODEL 1200  
DROP INLET WITH GRATE  
TG-200.50
- Y.D.  
INSTALL N.D.S. 4" DIA. ATRIUM  
GRATE WITH SOLID PIPE TO  
S.D. TIE-IN

#### STORM DRAIN NOTES

- 1) ALL STORM DRAINS (S.D.) SHALL BE P.V.C. SDR35, H.D.P.E. OR APPROVED EQUAL WITH 1' MIN. COVER ABOVE TOP OF PIPE.
- 2) PLACE DISCHARGE FROM GUTTER DOWN SPOUTS, FOUNDATION/UNDERSLAB DRAINS & BACK OF WALL DRAINS IN SEPARATE PIPELINES USING A.B.S. SCH. 40 OR SDR35 PIPE AT 2% MIN. FALL TO OUTLET. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF GUTTER DOWNSPOUTS & FOUNDATION/UNDERSLAB DRAINS FOR PROPER TIE-IN. SEE DRAIN OUTLET DETAIL, SHT. 3



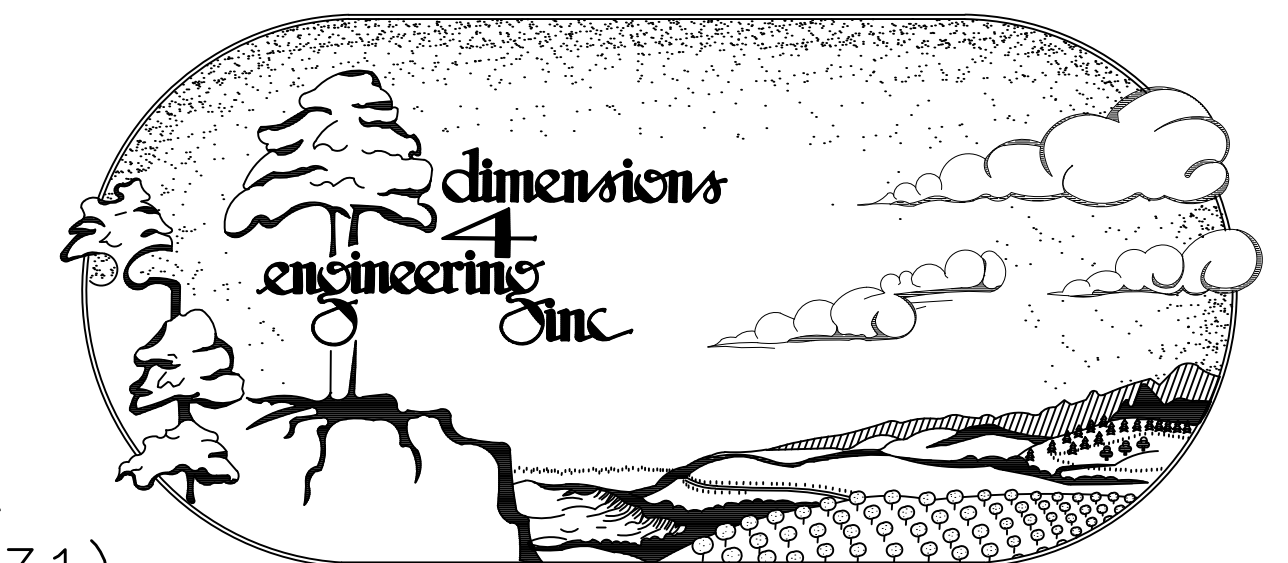
#### CROSS SECTION SCALE

HORIZ. 1" = 10'  
VERT. 1" = 10'

## HOUSE SITE GRADING PLAN

FOR  
PEGGY LEANDER  
AT

911 LITCHFIELD AVENUE  
SEBASTOPOL, CALIFORNIA  
LOT 1, P.M 146 (678M28-31)  
APN 004-134-016



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MAR. 2021

21-7929

SHEET C2 OF C4



**GRADING AND DRAINAGE NOTES**

- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEERING REPORT.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS & SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. PROPOSED MODIFICATIONS TO THE APPROVED PLANS & SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION & DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDER GROUND SERVICE ALERT (U.S.A.) TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE SEBASTOPOL FIRE DEPT. AT 707-823-8061.
- RETAINING WALLS ARE NOT NOT APPROVED UNDER THE GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF THE CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V (50%).
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.

**STORM DRAIN NOTES**

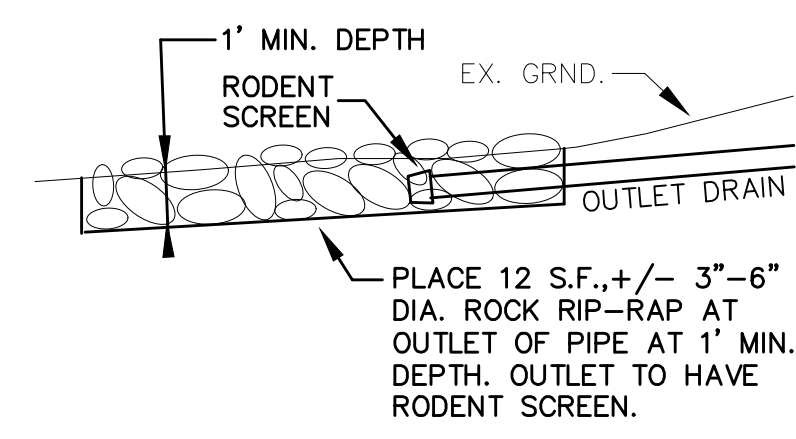
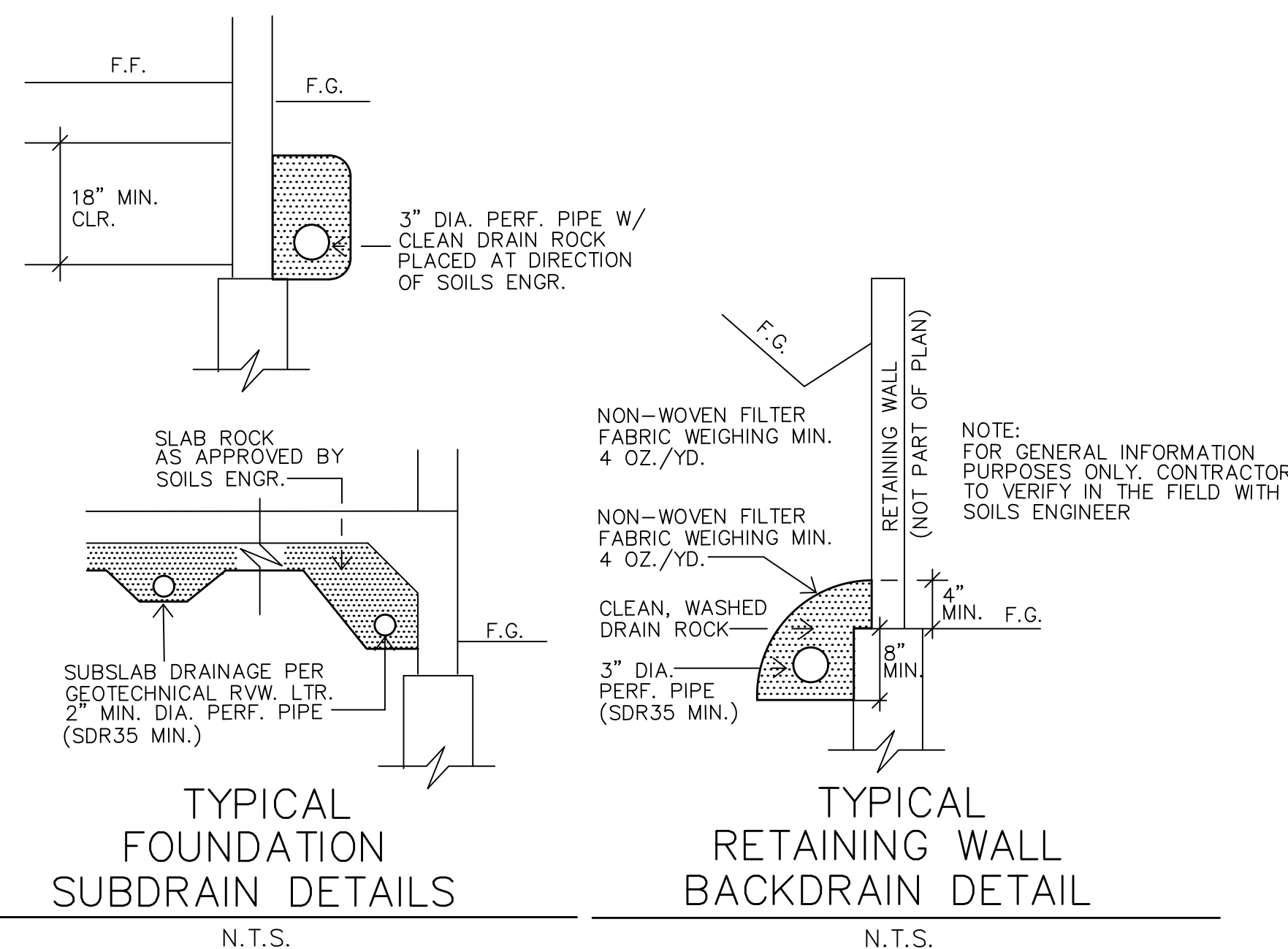
- ALL STORM DRAINS (S.D.) SHALL BE P.V.C. SDR35, H.D.P.E. OR APPROVED EQUAL WITH 1' MIN. COVER ABOVE TOP OF PIPE.
- PLACE DISCHARGE FROM GUTTER DOWN SPOUTS, FOUNDATION/UNDERSLAB DRAINS AND BACK OF WALL DRAINS IN SEPARATE PIPELINES USING A.B.S. SCH. 40 OR SDR35 PIPE AT 2% MIN. FALL TO OUTLET. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF GUTTER DOWNSPOUTS AND FOUNDATION/UNDERSLAB DRAINS FOR PROPER TIE-IN.
- TRENCH AND BACKFILL CONSTRUCTION FOR STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH CALTRANS' STANDARD PLANS DRAWING A62-D FOR CONCRETE CULVERTS AND A62-F FOR METAL AND PLASTIC CULVERTS, EXCEPT THAT THE TRENCH WIDTH NEED ONLY BE ONE FOOT ON EACH SIDE OF THE PIPE.
- VERTICAL CONTROL OF PIPE LAYING MAY BE BY EITHER (A) "BATTER BOARDS", STRING LINE & GRADE ROD, OR (B) BY LASER BEAM. FOR STORM DRAIN PIPES (OTHER THAN CIPP) WHICH HAVE SLOPES FLATTER THAN 0.0030 FT./FT., THE SOIL CEMENT BEDDING DESCRIBED IN SECTION 19-3.0250 CALTRANS STANDARD SPECIFICATIONS SHALL BE USED.
- OFF-SITE DRAINAGE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO NOVEMBER 1ST.

**GRADING AND DRAINAGE INSPECTION NOTES**

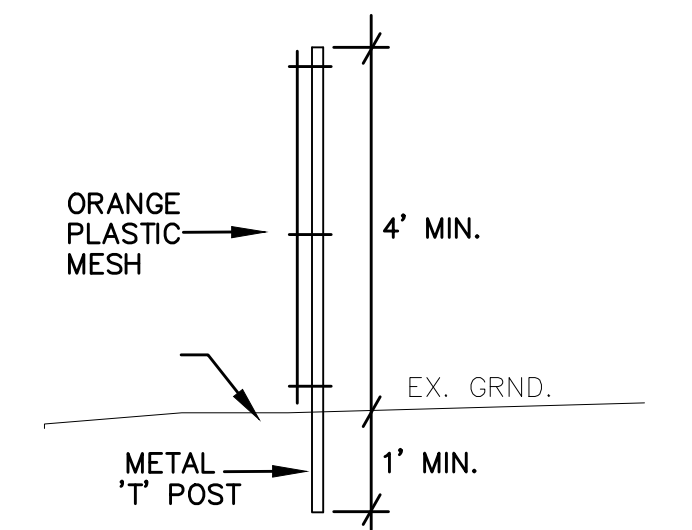
- THE PERMITTEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. SCHEDULE GRADING AND UTILITY INSPECTIONS AT LEAST 48 HRS. IN ADVANCE BY CALLING CITY OF SEBASTOPOL PUBLIC WORKS AT 707-823-2151. CITY HOURS ARE 7:30AM TO 5:30PM, MON.-THURS.
- PRIOR TO THE START OF ANY GRADING WORK, THE PERMITTEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH THE PROJECT ENGINEER AND CITY INSPECTOR TO DISCUSS THE SCOPE OF THE PROJECT, PERMIT CONDITIONS, REQUIRED INSPECTIONS, APPROPRIATE APPLICATION OF BEST MANAGEMENT PRACTICES (BMPs) AND ANY OTHER CONSTRUCTION ISSUES.
- THE CITY OF SEBASTOPOL SHALL FINAL A PERMIT WHEN ALL WORK, INCLUDING THE INSTALLATION OF ALL DRAINAGE IMPROVEMENTS AND THEIR PROTECTIVE DEVICES, AND ALL STORM WATER BEST MANAGEMENT PRACTICES, HAVE BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND ALL REQUIRED FINAL REPORTS HAVE BEEN SUBMITTED AND ACCEPTED. FINAL REPORTS MAY INCLUDE: AS-BUILT PLANS, TESTING RECORDS, PROFESSIONAL OPINIONS, AND DECLARATIONS ABOUT COMPLETED WORK FROM PROFESSIONAL PERSONNEL. SIMILAR REPORTS MAY BE REQUIRED AT OTHER STAGES OF THE WORK.
- THE PERMITTEE SHALL PROVIDE ADEQUATE AND SAFE ACCESS TO THE SITE FOR INSPECTION DURING THE PERFORMANCE OF ALL WORK.
- DURING CONSTRUCTION ACTIVITIES, THE PROJECT SITE ADDRESS SHALL BE POSTED AS FOLLOWS: (1) THE STREET NUMBERS MUST BE AT LEAST FOUR INCHES TALL, WITH A REFLECTIVE SURFACE (2) THE ADDRESS MUST BE VISIBLE FROM BOTH DIRECTIONS ALONG THE ROAD.

**MISCELLANEOUS NOTES**

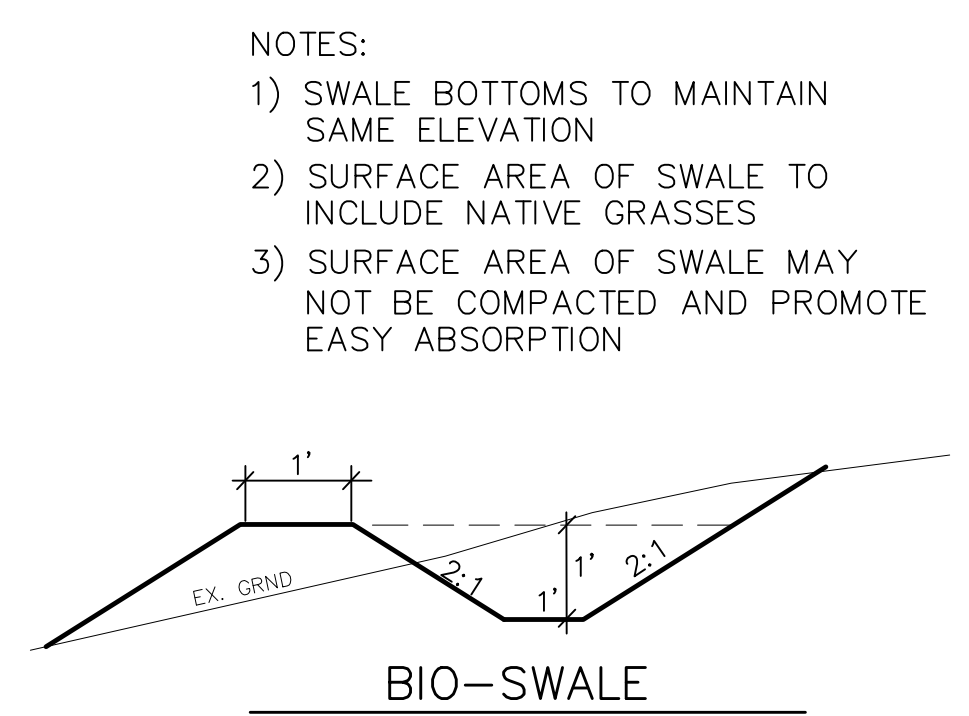
- TESTING FOR RELATIVE DENSITIES SHALL BE IN ACCORDANCE WITH CALTRANS TEST METHOD NO. 216, PART II OR A.S.T.M. 1557. THE USE OF SAND CONE METHODS SUCH AS ASTM 1556 OR CALTRANS 216, PART I SHALL NOT BE ALLOWED.
- ALL EXISTING CULVERT CROSSINGS ARE TO BE CLEANED OUT AND FREE OF DEBRIS.



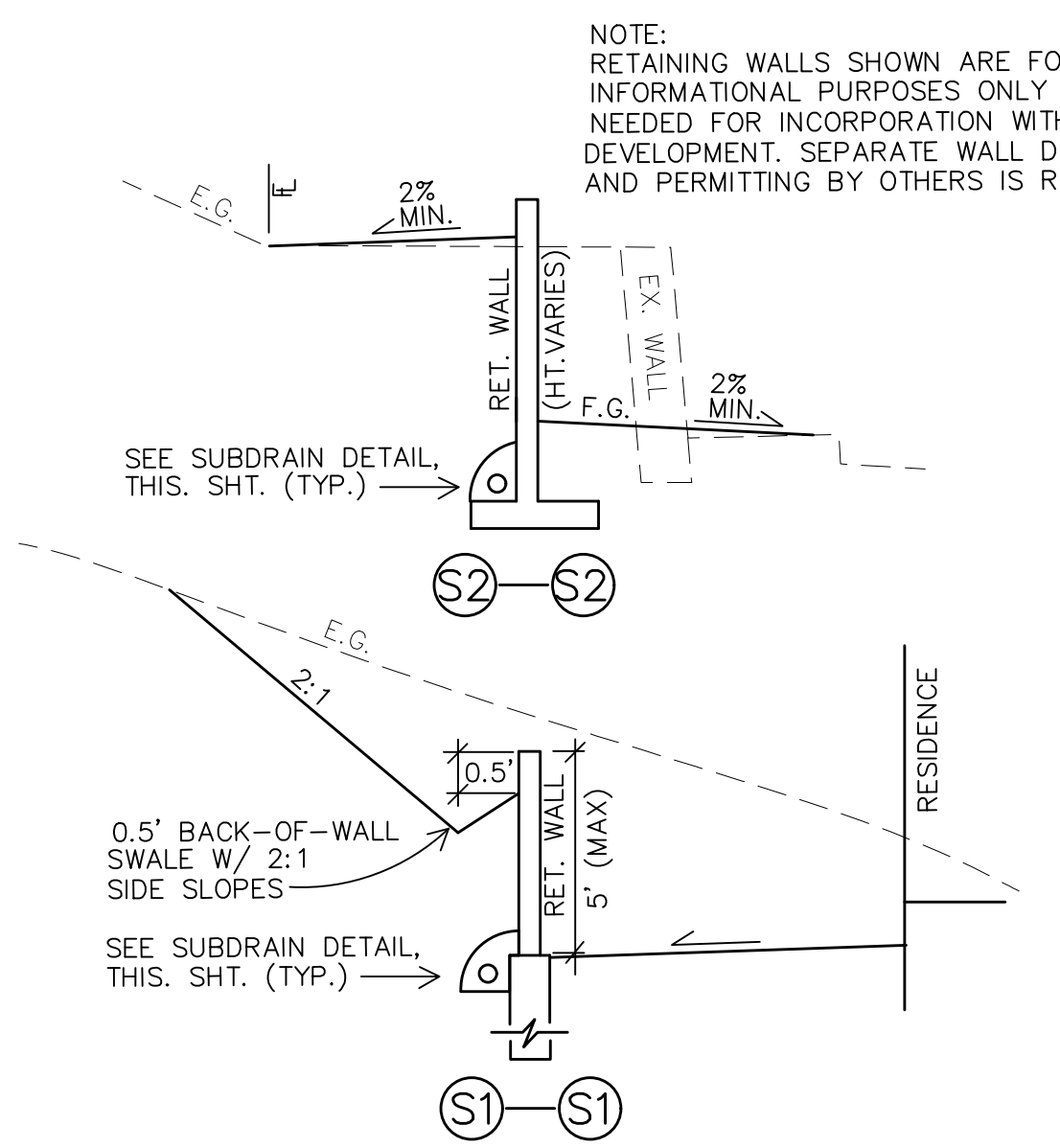
**DRAIN OUTLET DETAILS**  
N.T.S.



**TREE PROTECTION FENCE**  
N.T.S.



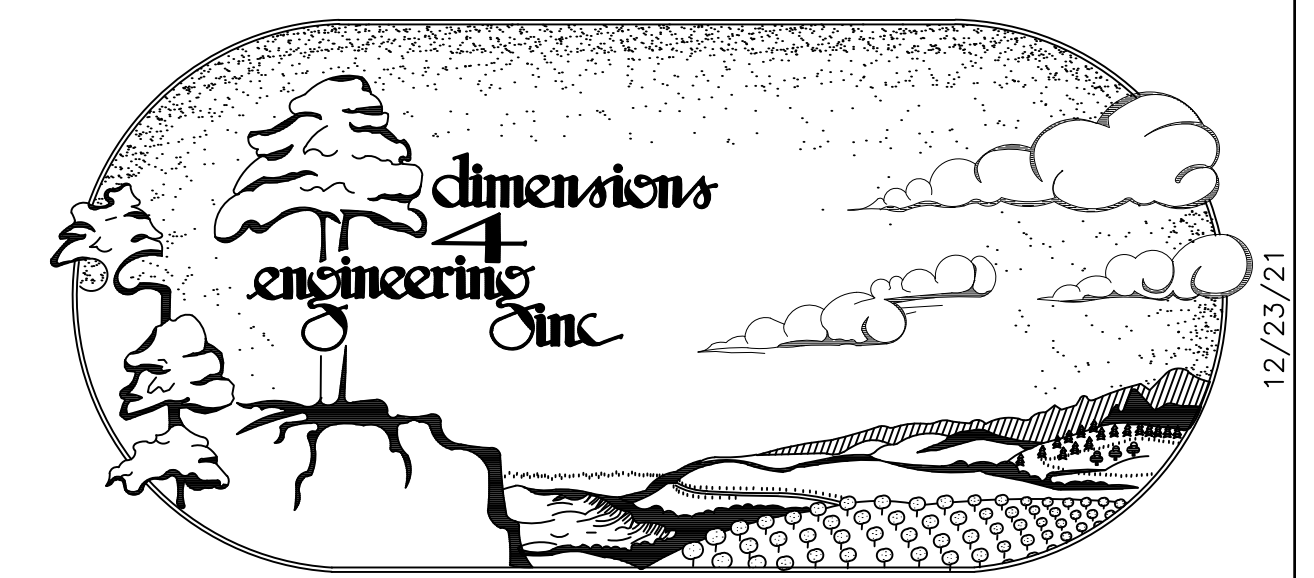
**STORMWATER RETENTION CROSS SECTION**  
N.T.S.



**TYPICAL SITE SECTION - RETAINING WALL -**  
N.T.S.

**HOUSE SITE GRADING PLAN**

FOR  
PEGGY LEANDER  
AT  
911 LITCHFIELD AVENUE  
SEBASTOPOL, CALIFORNIA  
LOT 1, P.M 146 (678M28-31)  
APN 004-134-016

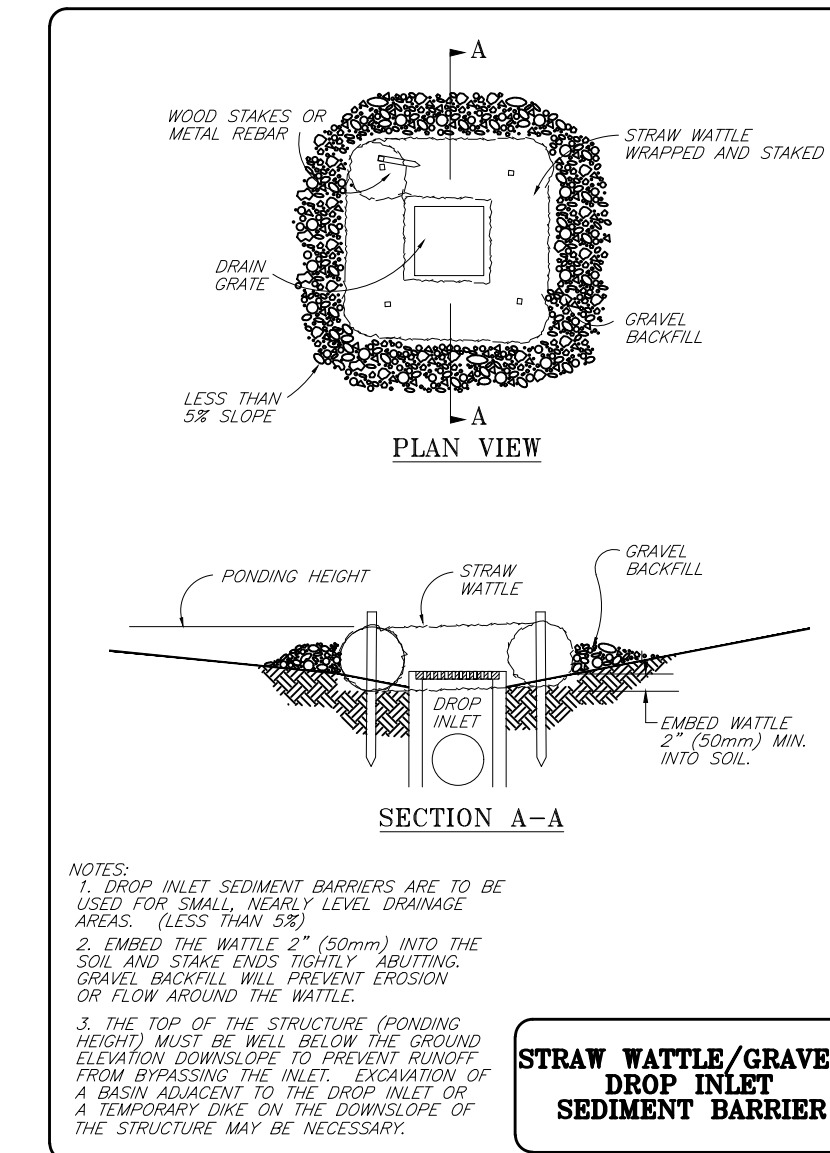
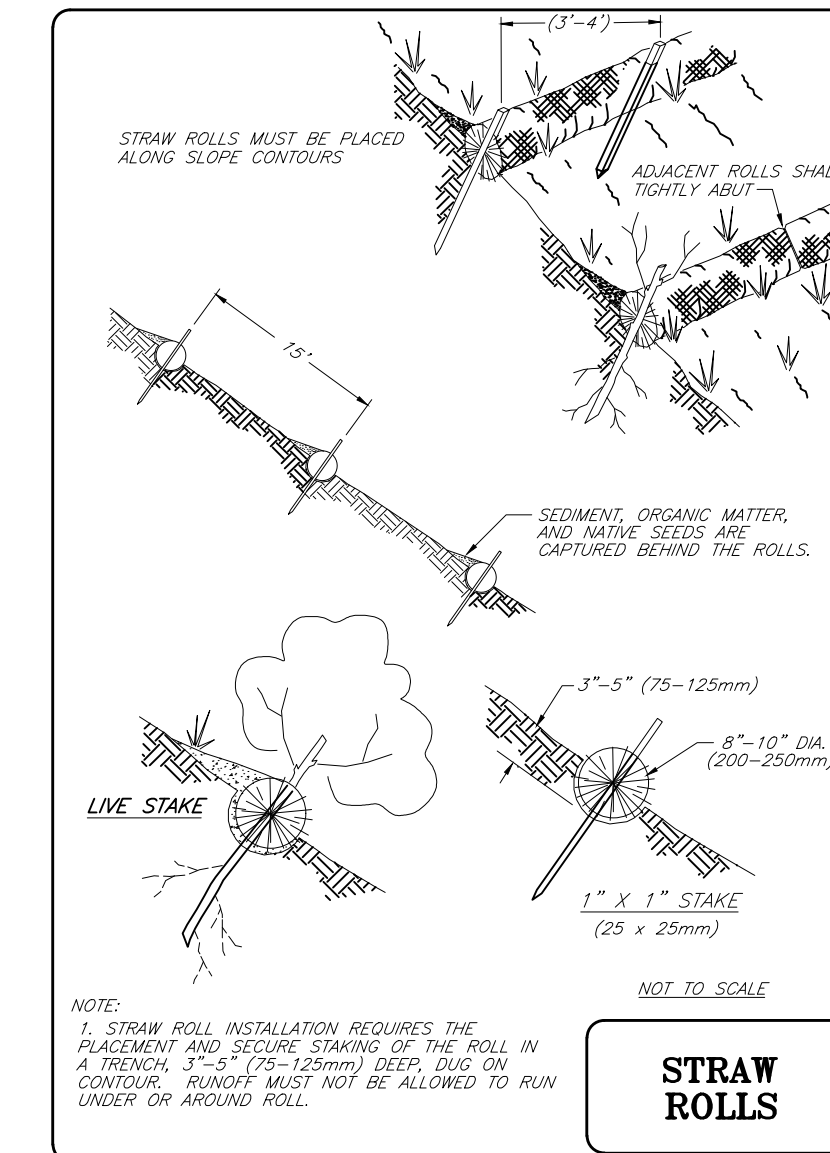
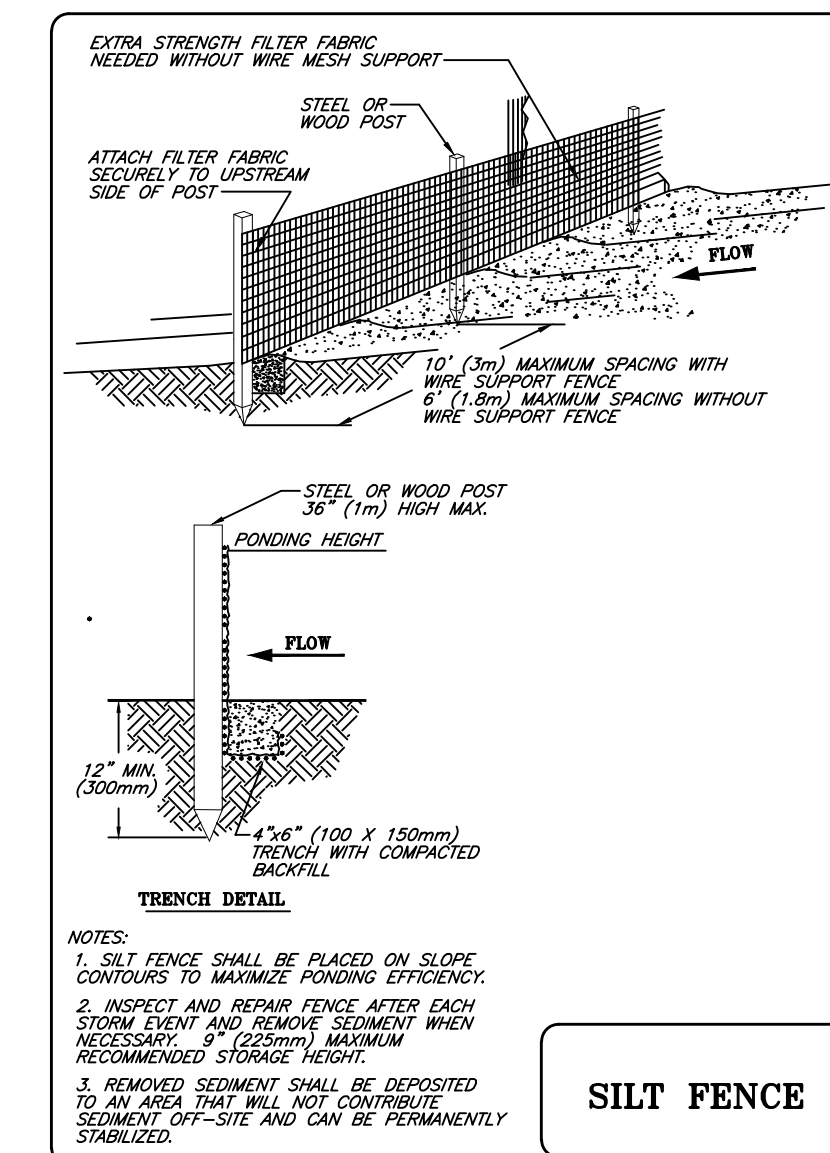


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**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

- YEAR ROUND REQUIREMENTS CONTINUED-**
- CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
  - DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICAL, HAZARDOUS WASTES, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
  - ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
  - ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT VEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
  - WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEPT INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
  - HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.
- RAINY SEASON OPERATIONS**
- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15-APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SSC CHAPTER 11 AND 11A. STORM WATER BMPs REFERENCED OR DETAILED IN THE PERMIT AUTHORITIES BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
  - THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
  - AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO APRIL 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SSC CH. 11A AND 11.
- YEAR ROUND REQUIREMENTS**
- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN THE BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
  - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
  - THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.

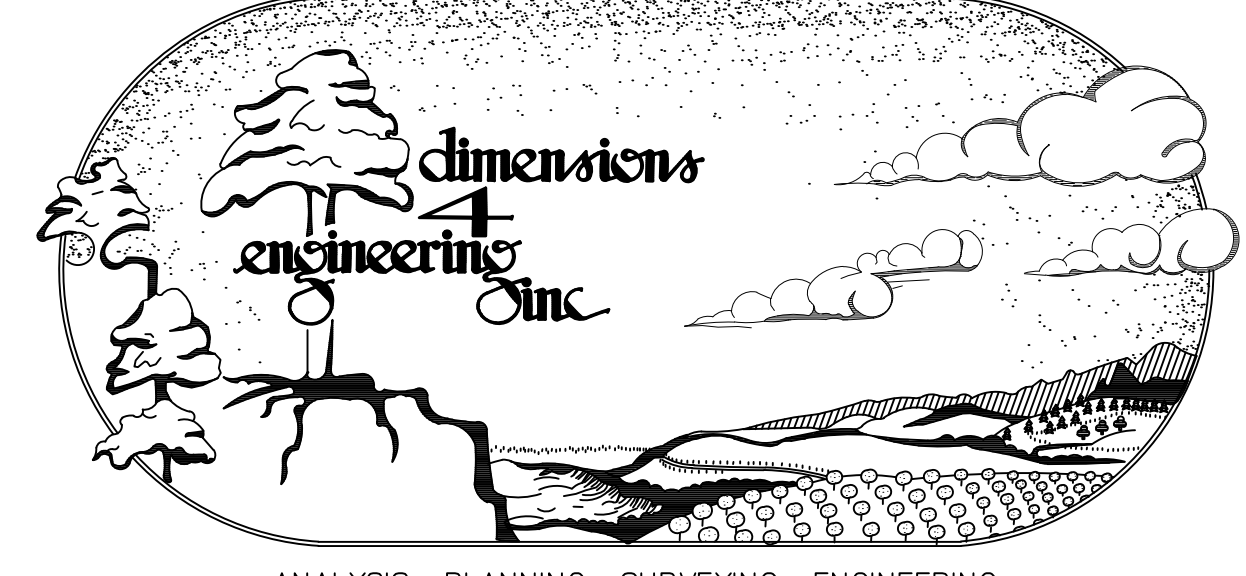
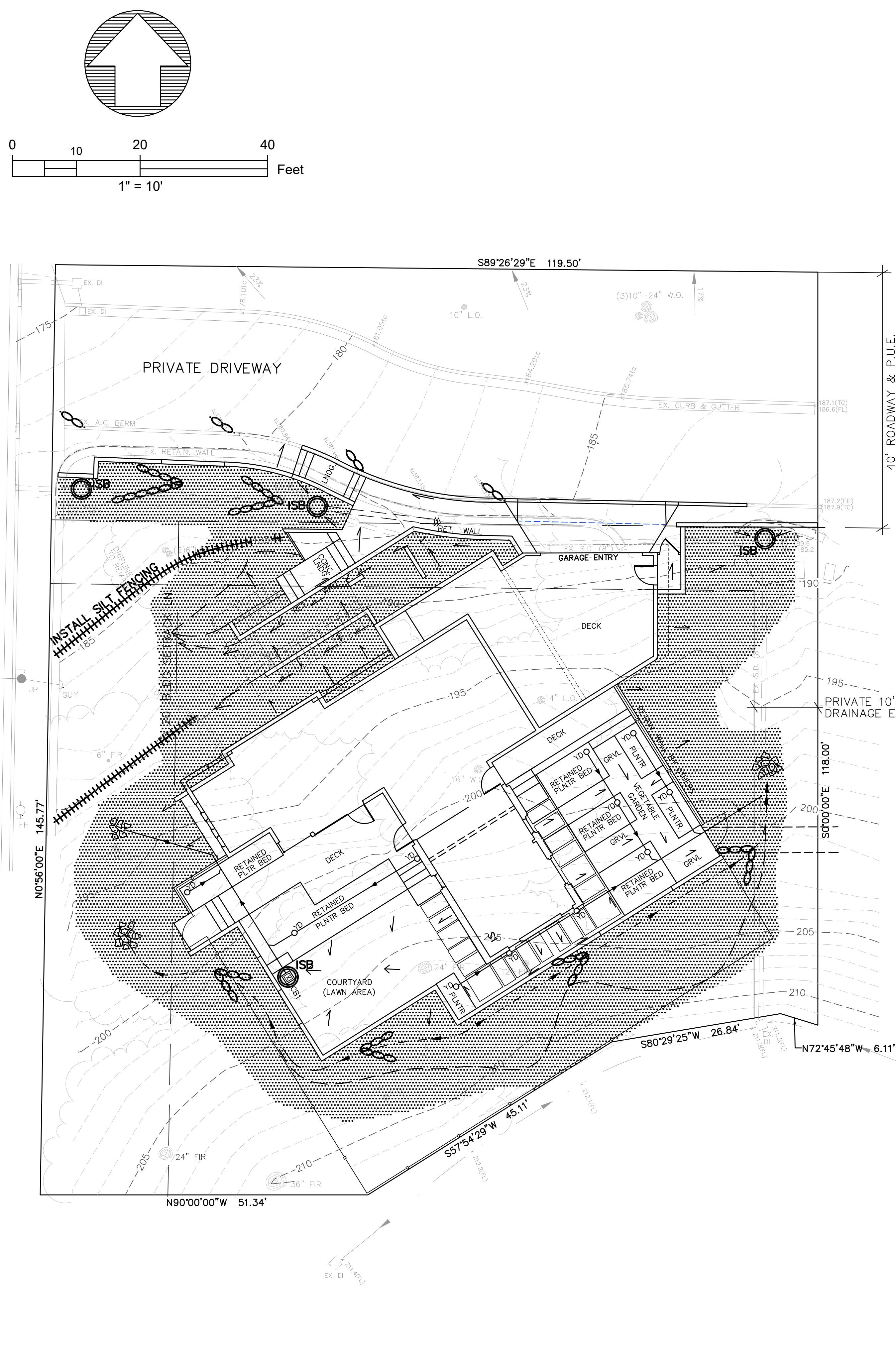


MATERIALS	APPLIC. RATE (LBS./AC.)
SEED MIX Eriogonum molle (BLANDO BROME) Tritolium ritum (HYKON ROSE CLOVER)	40 20
FERTILIZER 16-20-0 & 15% SULFUR	500
MULCH STRAW	4000
HYDRAULIC STABILIZING* M-BINDER OR SENTINEL	75-100
EQUIVALENT MATERIAL	PER MANUFACTURER

\*NON-ASPHALTIC, DERIVED FROM PLANTS

- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
- STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
- ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY ERODIVE STORM WATER FLOW.
- SOIL MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
- PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT DISCHARGE OF POLLUTANTS.
- APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

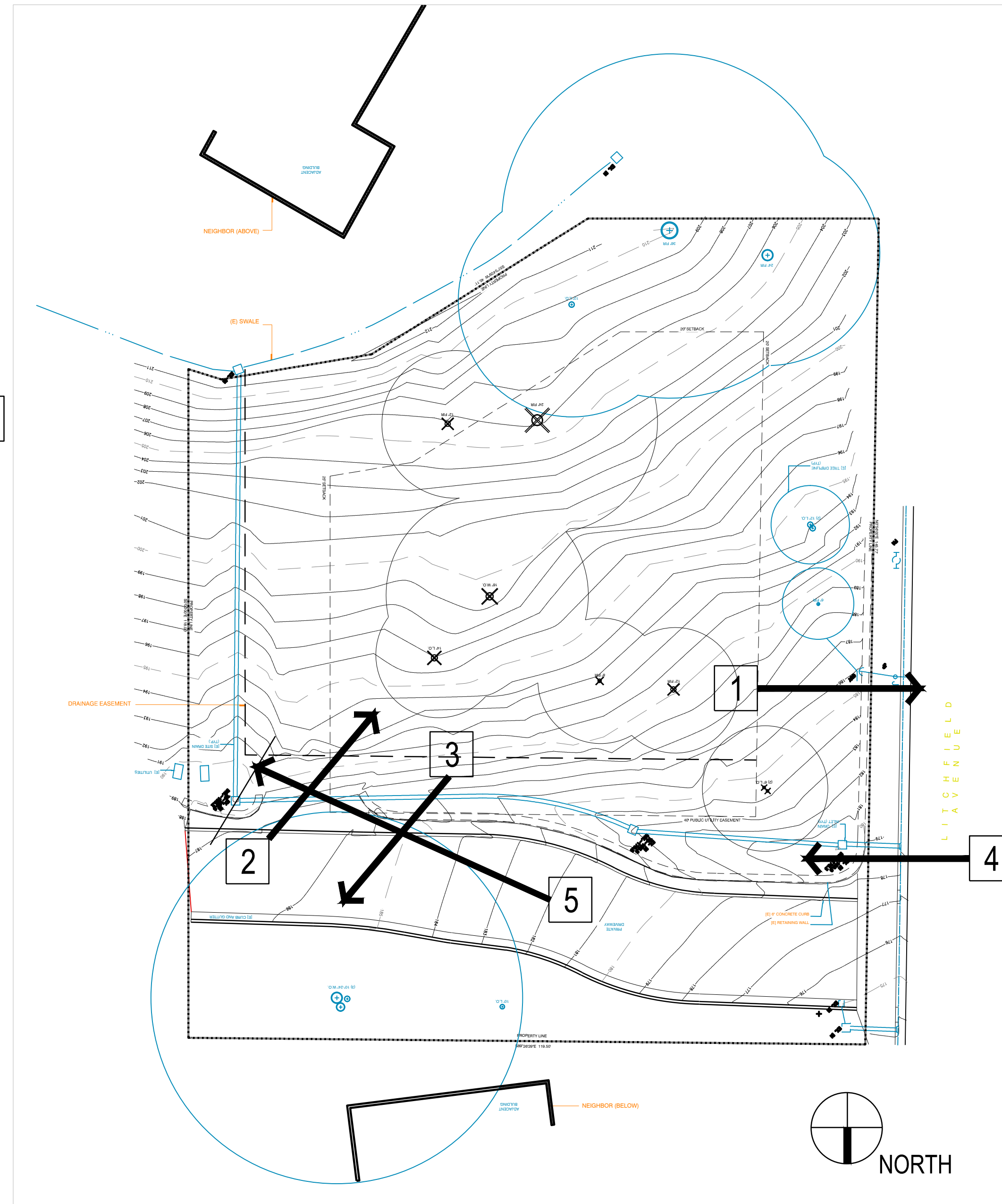
- NOTE:**  
 ALL GRADED AREAS (INCLUDES CUT & FILL) SHALL BE SEEDDED AND FERTILIZED AND INCLUDE STRAW MULCH FOR EROSION CONTROL. SEE SEEDING AND FERTILIZING NOTES, THIS SHIT.
- ISB ⊙ = DROP INLET SEDIMENT BARRIER  
 ⊙ = SEED & FERTILIZER  
 +++ = SILT FENCE  
 ∞∞ = SEDIMENT CONTROL WATTLES







1



5



2



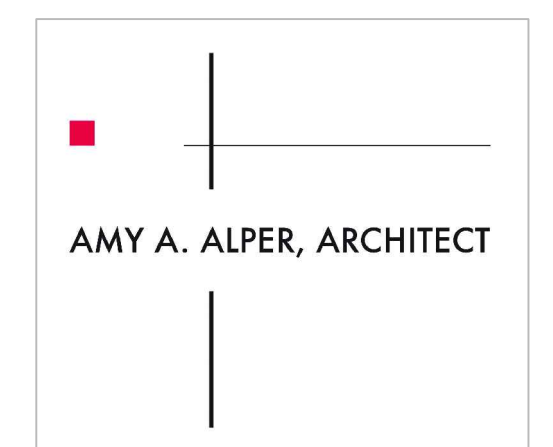
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4

LEANDER RESIDENCE - 911 LITCHFIELD AVENUE - SEBASTOPOL, CA.  
 DESIGN REVIEW SUBMITTAL - PAGE 1 of 5

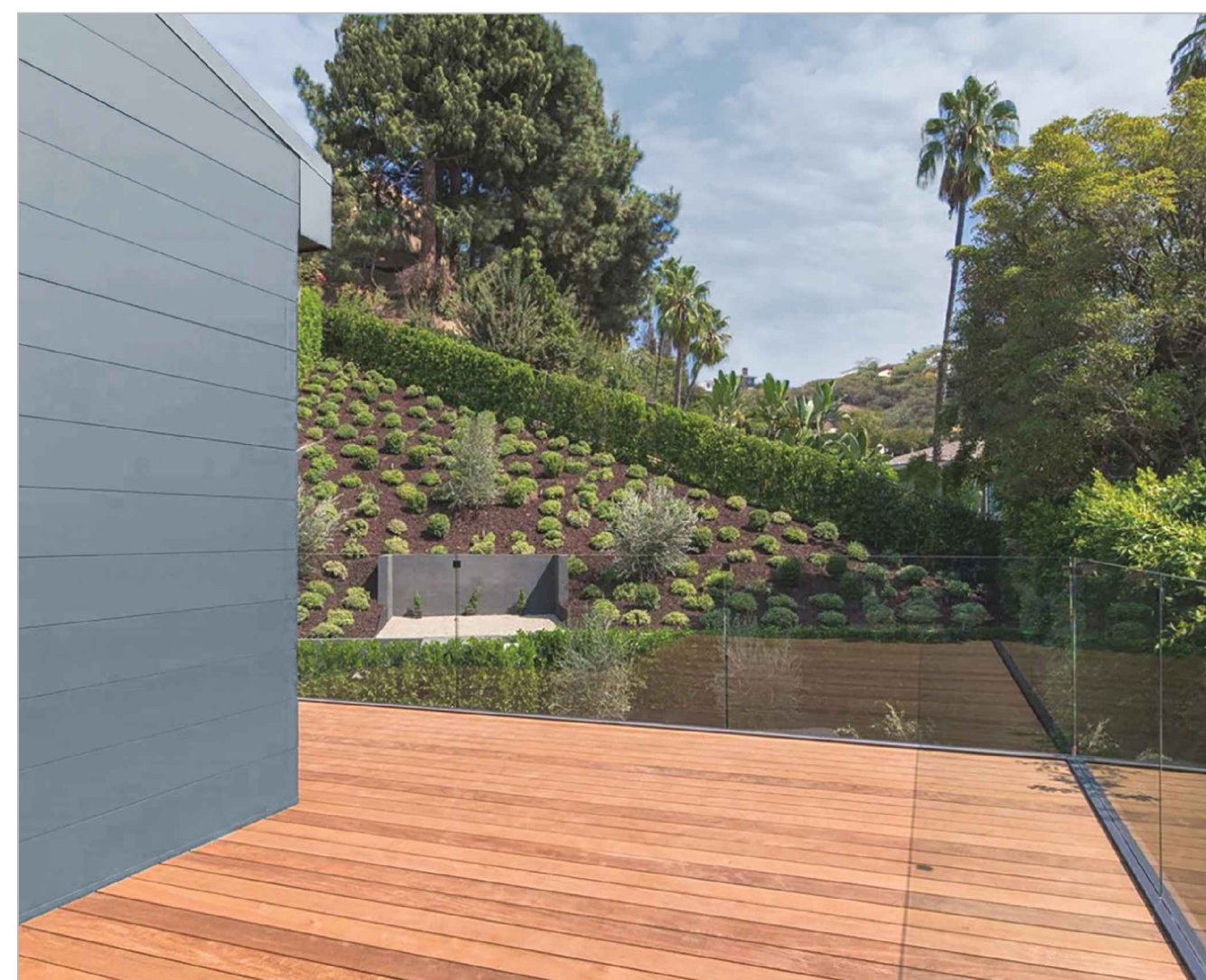
JANUARY 2022







Nickle Gap Siding  
Fiber Cement Siding  
Shown for Pattern only



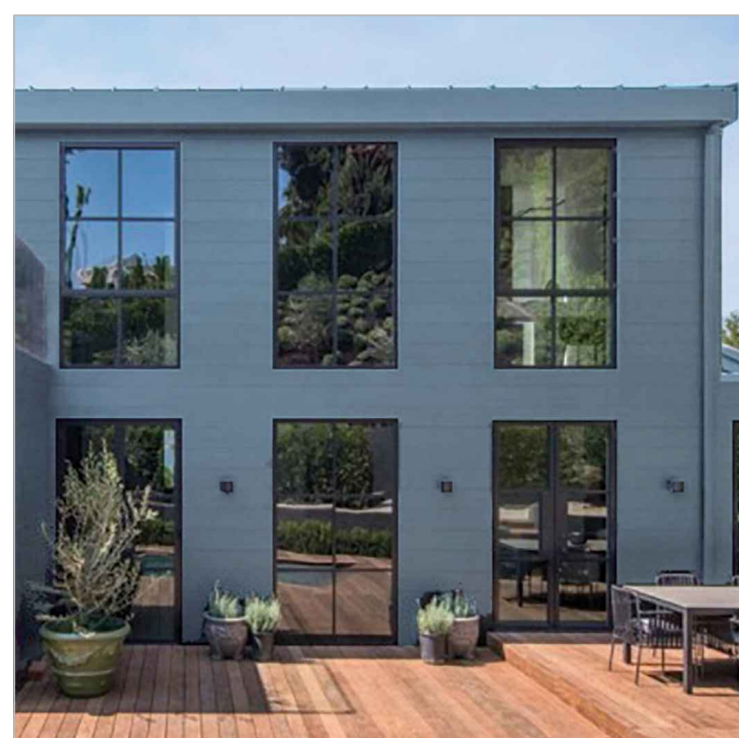
Nickle Gap Siding  
Fiber Cement Siding  
Warm Tone Decking (approximate hue)



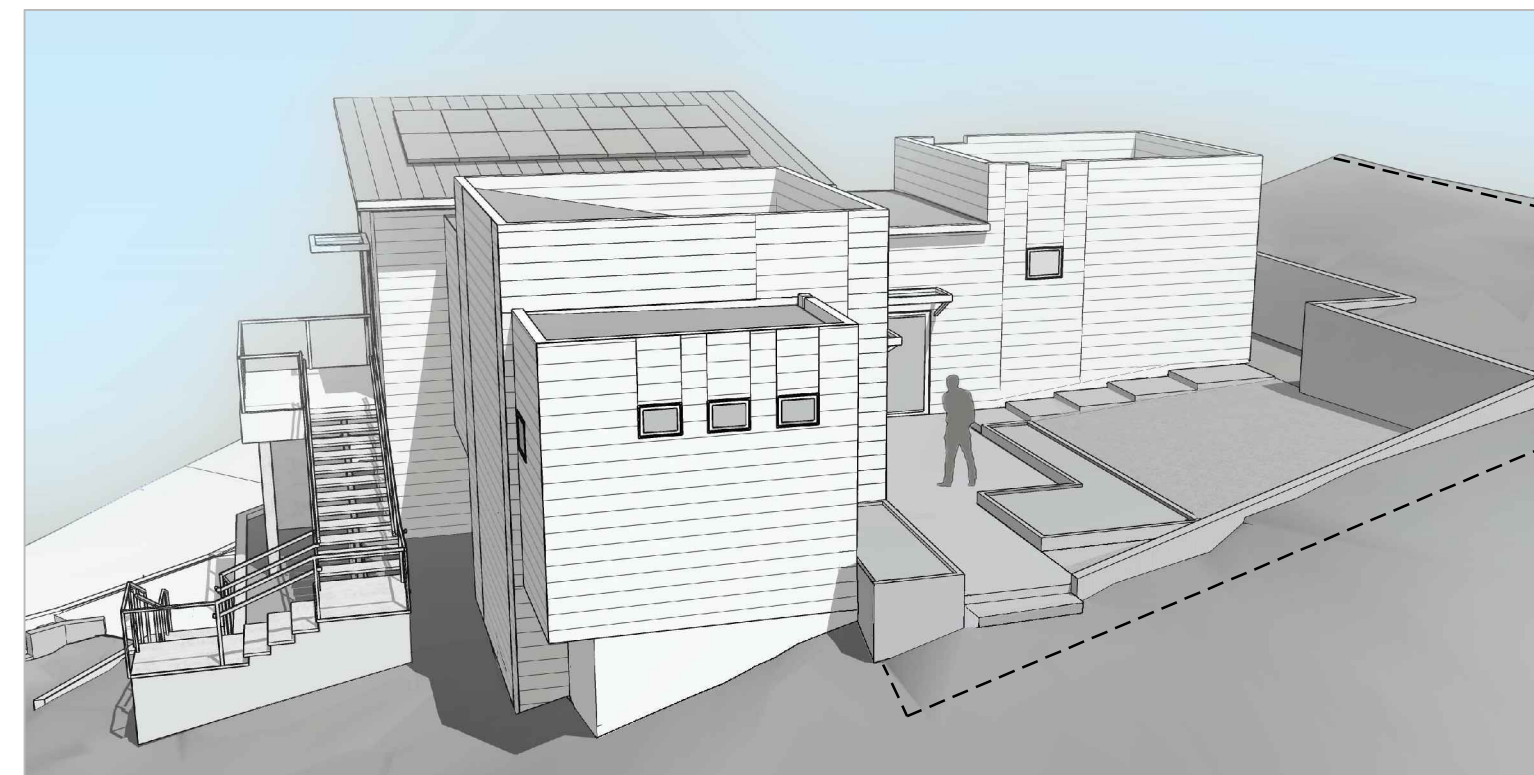
Window & Doors



Massing to break height of Facade



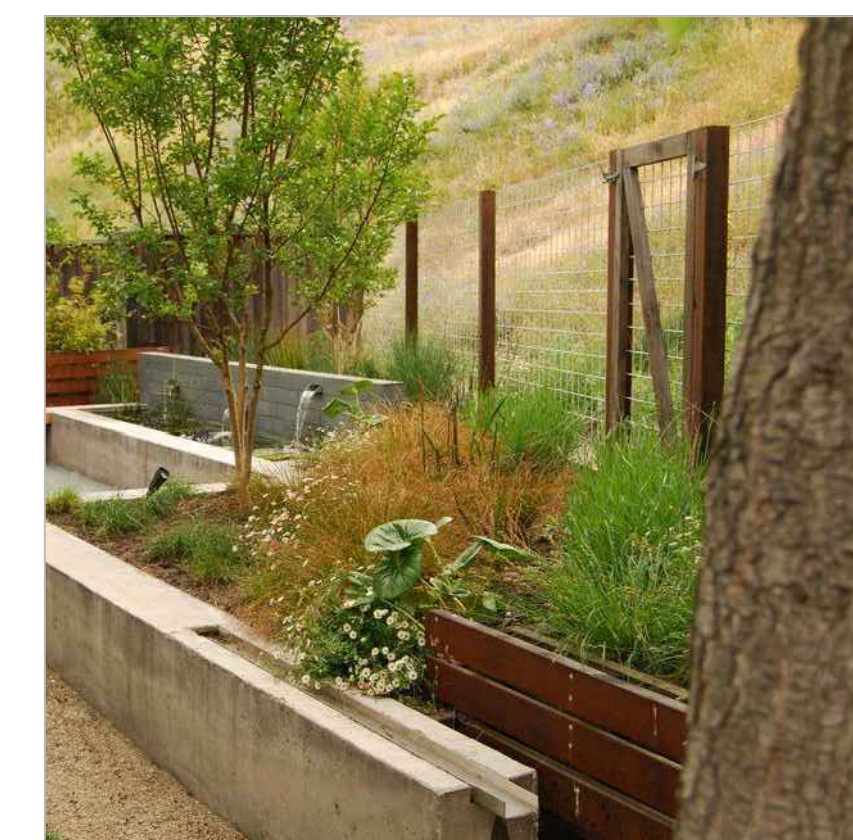
Similar Glass to Wall Ratio  
See above for actual proportion



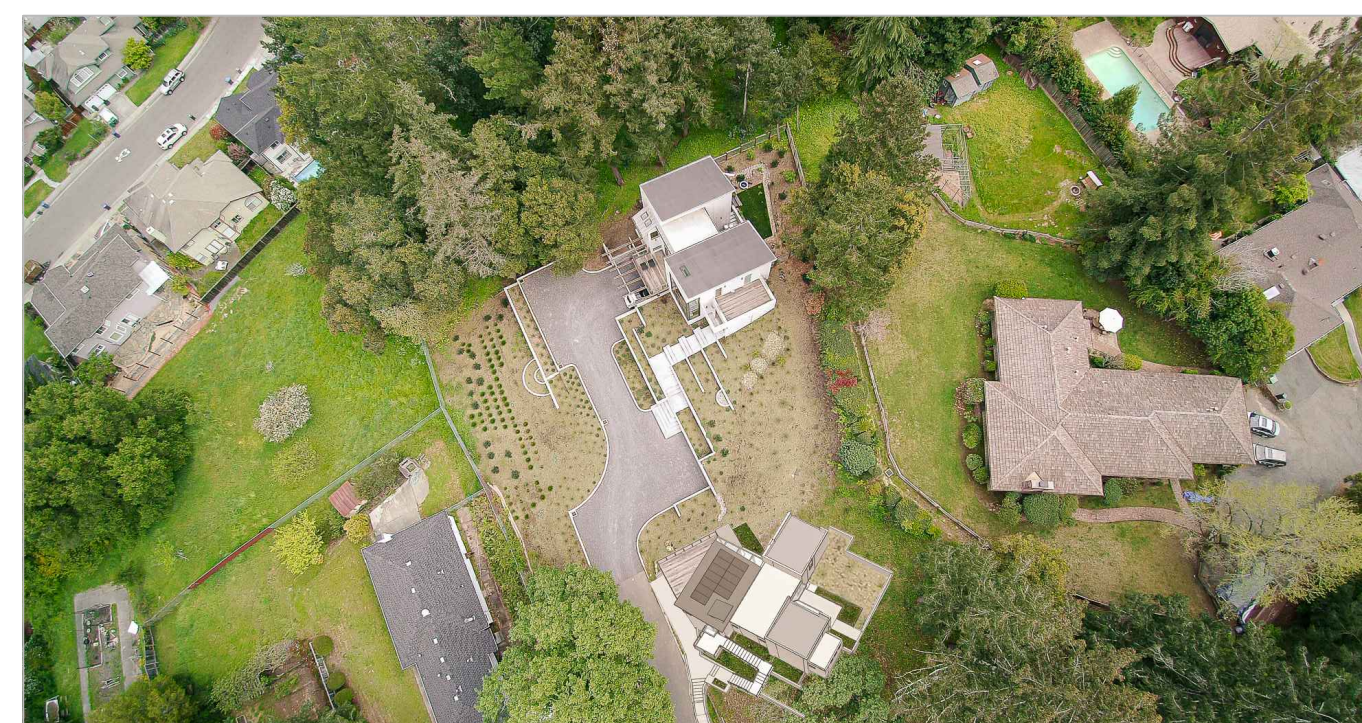
Layered massing to the West and South



Building Color: Will be in a range between these shades



Deer Fencing Concept



Aerial view; New and Existing Shed Roof Forms  
frame open space

Aerial view; New and Existing  
Shed Roof forms  
frame open space



Garage, Stair and Entry Deck to break up massing  
Tallest vertical surface to highlight the Entry  
Secondary vertical to be a backdrop to landscape elements  
Lower rooflines add horizontal contrast to the pavilion forms



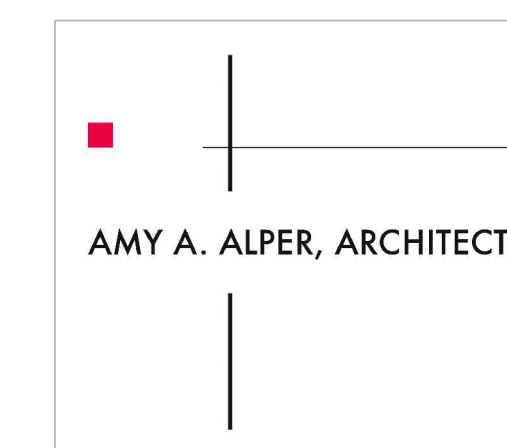
Board formed concrete @ site walls  
Board formed concrete tiles Garage walls



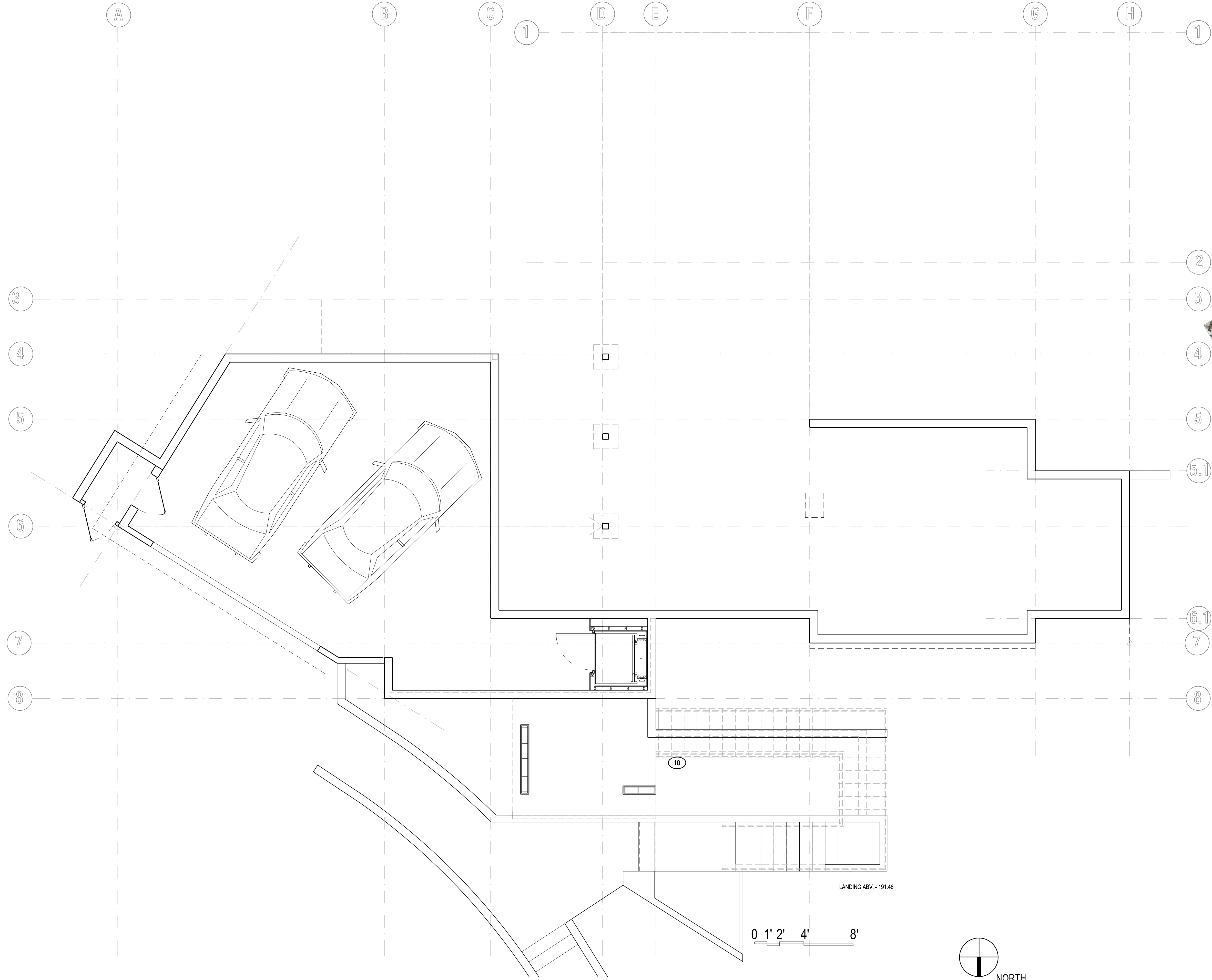
Southwest Elevation.  
Refer to View Above and Sheet 5 of 5 for Northeast Elevation

# LEANDER RESIDENCE - 911 LITCHFIELD AVENUE - SEBASTOPOL, CA. DESIGN REVIEW SUBMITTAL - PAGE 2 OF 5 RENDERS / MATERIALS

JANUARY 2022

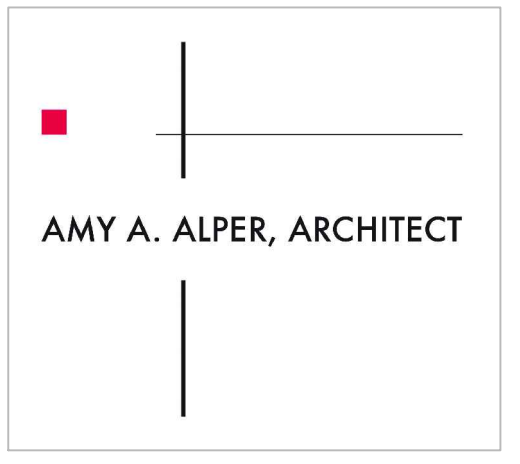




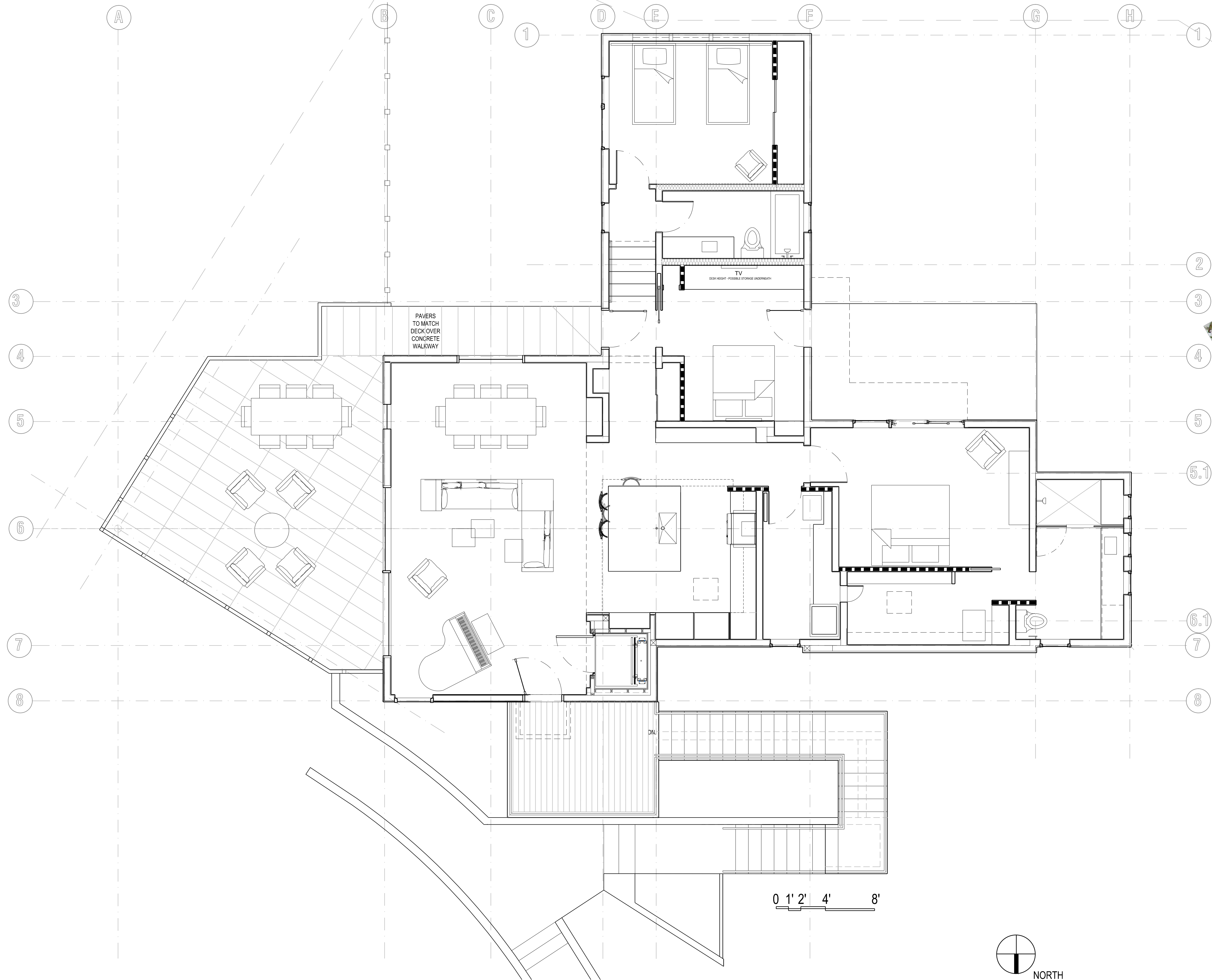


LEANDER RESIDENCE - 911 LITCHFIELD AVENUE - SEBASTOPOL, CA.  
 DESIGN REVIEW SUBMITTAL - GARAGE LEVEL PLAN - PAGE 3 OF 5

JANUARY 2022

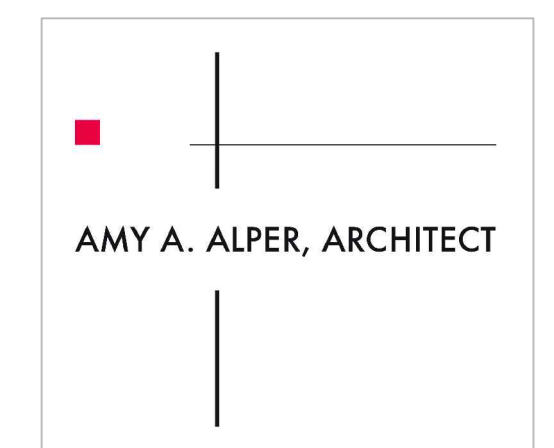






LEANDER RESIDENCE - 911 LITCHFIELD AVENUE - SEBASTOPOL, CA.  
 DESIGN REVIEW SUBMITTAL - MAIN LEVEL - PAGE 4 OF 5

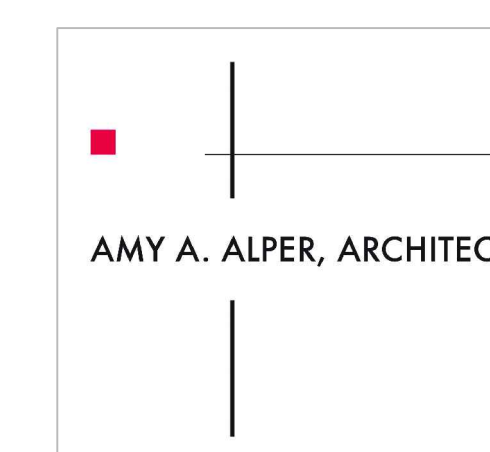
JANUARY 2022





LEANDER RESIDENCE - 911 LITCHFIELD AVENUE - SEBASTOPOL, CA.  
DESIGN REVIEW SUBMITTAL - NORTH ELEVATION - PAGE 5 OF 5

JANUARY 2022





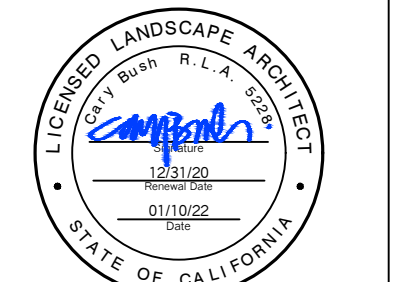
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SCHEMATIC DESIGN	01/14/2020
CD - FOR REVIEW	2/21/2020
DRB REVIEW	05/18/2020
PRICING SHEET SET	07/07/2021
DRB REVIEW	01/10/2022

revision: \_\_\_\_\_ date: \_\_\_\_\_

project title:

P. Leander Residence

APN# 004-134-016

911 Litchfield Ave.  
 Sebastopol, CA  
 95472

client:

Peggy Leander

911 Litchfield Ave.,  
 Sebastopol, CA  
 95472

content:

LANDSCAPE  
 PLANTING PLAN

Date:

1.10.22

Scale:

AS SHOWN

Sheet No.:

5 OF 9

File No.:

2007\_PLEANDER

Drawing No.:

L3.0

**PLANT MATERIAL LEGEND/ INDEX:**

**GROUNDCOVERS & PERENNIALS**



EPIMEDIUM X VERSICOLOR BISHOPS HAT 'SULPHUREUM' | ERODIUM VARIABILE - BISHOPS CRANESBILL 'BISHOPS FORM - WHITE' | HELLEBORUS ORIENTALIS - LENTEN ROSE | TEUCRIUM CHAMAEDRYS - GERMANDER | PHLOMIS RUSSELLIANA - HARDY JERUSALEM SAGE | RIBES VIBURNIFOLIUM - EVERGREEN CURRANT | GERANIUM HYB. - BLOODY CRANESBILL 'TINY MONSTER'



ANEMONE X HYBRIDA - JAPANESE ANEMONE 'HONORINE JOBERT' | CERATOSTIGMA WILLMOTTIANUM - CHINESE PLUMBAGO | THYMUS SPP. - CREEPING RED THYME | GERANIUM X CANTABRIGIENSE - HARDY GERANIUM 'BIOKOV' | SALVIA - BEE'S BLISS SAGE | ORIGANUM - ORNAMENTAL OREGANO SANTA CRUZ | VERBENA DE LA MINA'

**TREES & SHRUBS**



CORNUS SERICEA - REDTWIG DOGWOOD | MYRICA CALIFORNICA - PACIFIC WAX MYRTLE | CORNUS NUTTALLII - PACIFIC DOGWOOD 'EDDIES WHITE WONDER' | RHAMNUS CALIFORNICA - COFFEEBERRY 'LEATHERLEAF' | NYSSA SYLVATICA - 'BLACK TUPELO' | GINKGO BILOBA

**GRASSES & GRASS-LIKE**



CAREX OSHIMENSIS - EVERGOLD SEDGE | MUHLENBERGIA DUBIA - PINE MUHLY | HAKONECHLOA MACRA 'ALL GOLD' - JAPANESE FOREST GRASS | CALAMAGROSTIS FOLIOSA - MENDOCINO REED GRASS | PANICUM VIRGATUM 'SHENANDOAH' - SWITCHGRASS | PANICUM VIRGATUM 'HEAVY METAL' - SWITCHGRASS | OPHIOPOGON JAPONICUS - MONDO GRASS

**PLANT MATERIAL LEGEND/ INDEX:**

KEY: COMMON NAME: | BOTANICAL NAME: | SIZE: | COMMENTS: | (WATER USE)

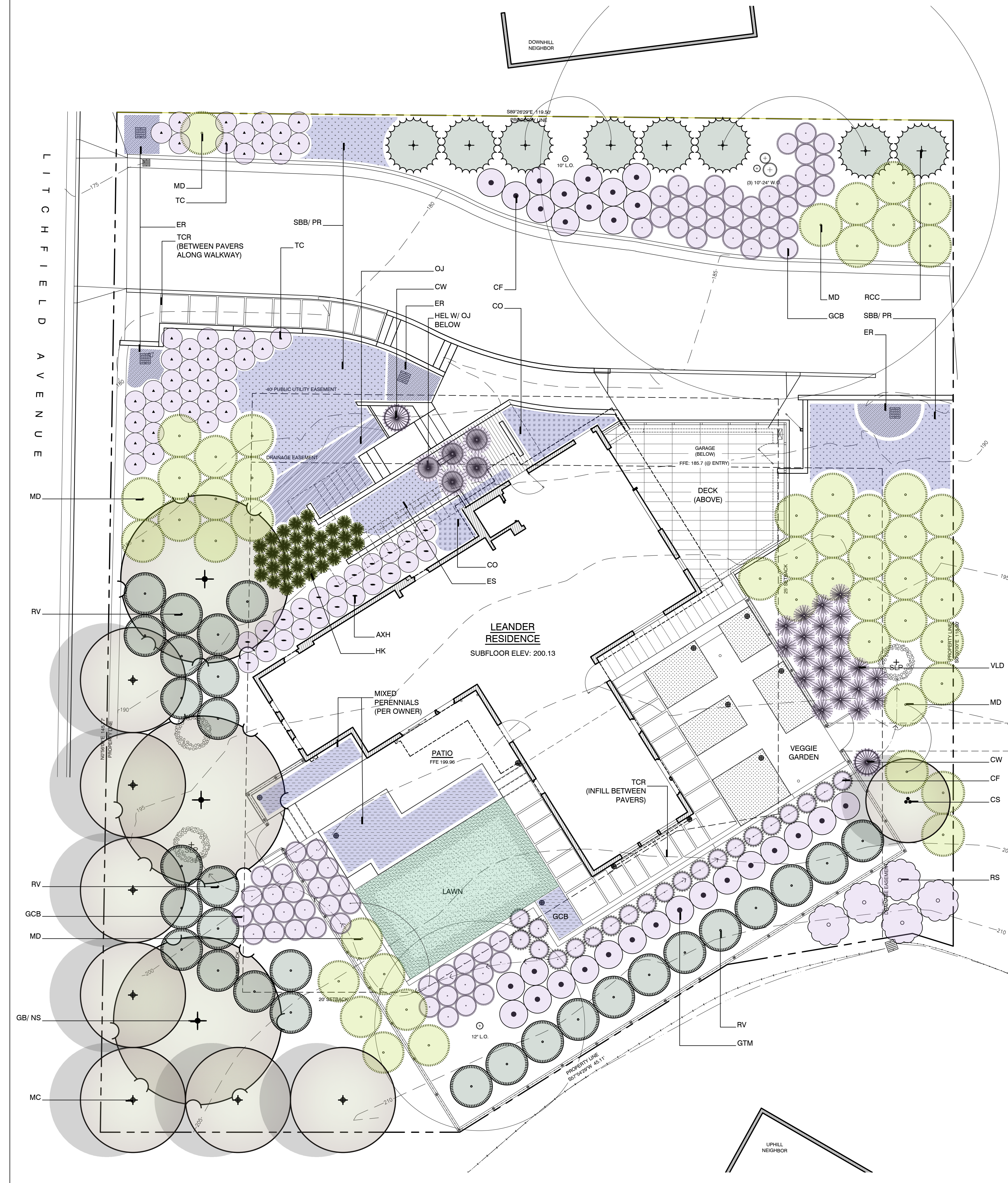
TREES:	GB	GINKGO	GINKGO BILOBA	15 GAL	6-8' STD./ LOW BRANCHED	(M)
	NS	TUPELO/ BLACK GUM	NYSSA SYLVATICA	24" BOX	8-12' TALL- LOW BRANCHED	(M)

ORNAMENTAL GRASSES:	CF	MENDOCINO REED GRASS	CALAMAGROSTIS FOLIOSA	1 GAL.	PLANT 4' O.C.	(L)
	CO	EVERGOLD VARIEGATED SEDGE	CAREX OSHIMENSIS 'EVERGOLD'	1 GAL.	PLANT 18" O.C.	(M)
	HK	JAPANESE FOREST GRASS	HAKONECHLOA MACRA 'ALL GOLD'	1 GAL.	PLANT 24" O.C.	(M)
	MD	PINE MUHLY GRASS	MUHLENBERGIA DUBIA	1 GAL.	PLANT 6" O.C.	(L)
	OJ	JAPANESE SEDGE	OPHIOPOGON JAPONICUS 'NANA'	4" POT	PLANT 6" O.C.	(M)
	PVS	SWITCHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	4" POT	PLANT 4' O.C.	(M)
	PVH	SWITCHGRASS	PANICUM VIRGATUM 'HEAVY METAL'	4" POT	PLANT 3' O.C.	(M)

SHRUBS:	AHM	MANZANITA	ARCTOSTAPHYLOS 'HOWARD MC MINN'	5 GAL.	PLANT 7' O.C.	(L)
	CS	REDTWIG DOGWOOD	CORNUS SERICEA	1 GAL.	PLANT 5' O.C.	(H)
	MC	PACIFIC WAX MYRTLE	MYRICA CALIFORNICA	5 GAL.	PLANT 15' O.C.	(L)
	RCC	COFFEEBERRY	RHAMNUS CALIFORNICA 'LEATHERLEAF'	5 GAL.	PLANT 8' O.C.	(L)
	RS	RED FLOWERING CURRANT	RIBES SANGUINEUM	5 GAL.	PLANT 6' O.C.	(L)
	RV	EVERGREEN CURRANT	RIBES VIBURNIFOLIUM	1 GAL.	PLANT 4' O.C.	(L)

GROUNDCOVER/ PERENNIALS/ BULBS:	AXH	JAPANESE ANEMONE	ANEMONE X HYBRIDA 'HONORINE JOBERT'	4" POT	PLANT 3' O.C.	(M)
	CW	CHINESE PLUMBAGO	CERATOSTIGMA WILLMOTTIANUM	1 GAL.	PLANT 3' O.C.	(M)
	ES	BISHOPS HAT	EPIMEDIUM X VERSICOLOR 'SULPHUREUM'	1 GAL.	PLANT 3' O.C.	(L-M)
	ER	ERODIUM CRANESBILL	ERODIUM X VARIABILE 'BISHOPS FORM'	4" POT	PLANT 12" O.C.	(L-M)
	GCB	HARDY GERANIUM	GERANIUM X CANTABRIGIENSE 'BIOKOV'	1 GAL.	PLANT 3' O.C.	(M)
	GTM	BLOODY CRANESBILL	GERANIUM HYB. 'TINY MONSTER'	1 GAL.	PLANT 3' O.C.	(M)
	HEL	HELLEBORE	HELLEBORUS ORIENTALIS	1 GAL.	PLANT 4' O.C.	(L)
	PR	HARDY JERUSALEM SAGE	PHLOMIS RUSSELLIANA	4" POT	PLANT 4' O.C.	(L)
	SBB	BEE'S BLISS PURPLE SAGE	SALVIA LEUCOPHYLLA 'BEE'S BLISS'	1 GAL.	PLANT 8' O.C.	(L-M)
	TC	GERMANDER	TEUCRIUM CHAMAEDRYS	4" POT	PLANT 3' O.C.	(L)
	TCR	CREEPING RED THYME	THYMUS SPP.	4" POT	PLANT 6' O.C.	(L)
	VLD	DE LA MINA VERBENA	VERBENA LILACINA 'DE LA MINA'	1 GAL.	PLANT 3' O.C.	(L)

LAWN:	FORMAL LAWN	BOLERO PLUS DWARF RED FESCUE BLEND	SOD	DELTA BLUEGRASS	(M)
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**LANDSCAPE PLANTING PLAN**

scale: 1/8" = 1'-0"



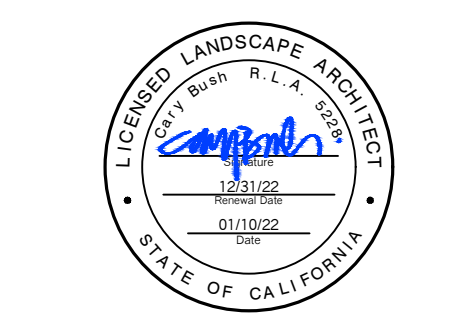


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Drawings are not to be used in any manner that would constitute a detriment or liability directly or indirectly to merge studio.

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 If the drawing image is less than 24" x 36", it has been reduced and must be scaled accordingly.

Contractor shall verify and be responsible for all dimensions and conditions on the job. merge studio is to be notified of any variations from the dimensions and conditions shown on the drawings, or discrepancies found within the drawings. Shop drawings, etc. are to be submitted to merge studio for review prior to fabrication and/or installation.



SCHEMATIC DESIGN	01/14/2020
CD - FOR REVIEW	02/21/2020
DRB REVIEW	05/18/2020
PRICING SHEET SET	07/07/2021
DRB REVIEW	01/10/2022

revision: \_\_\_\_\_ date: \_\_\_\_\_

project title:

**P. Leander Residence**

APN# 004-134-016

911 Litchfield Ave.  
 Sebastopol, CA  
 95472

client:

**Peggy Leander**

911 Litchfield Ave.,  
 Sebastopol, CA  
 95472

content:

**LANDSCAPE IRRIGATION - HYDROZONE PLAN**

Date:

1.10.22

Scale:

AS SHOWN

Sheet No.:

6 OF 9

File No.:

2007\_PLEANDER

Drawing No.:

**L4.0**

**IRRIGATION REQUIREMENTS, OPERATIONS AND GUARANTEES:** [P. LEANDER RESIDENCE, SEBASTOPOL, CA]

- GENERAL:
- IRRIGATION SYSTEMS WITH METERS 1 1/2" OR GREATER REQUIRE A HIGH-FLOW SENSOR THAT CAN DETECT HIGH-FLOW CONDITIONS AND HAS THE CAPACITY TO SHUT OFF THE IRRIGATION SYSTEM (IF REQUIRED).
  - ISOLATION VALVES SHALL BE INSTALLED AT THE POINT OF CONNECTION (POC) AND BEFORE EACH VALVE OR VALVE MANIFOLD.
  - PRESSURE REGULATION AND/OR BOOSTER PUMPS SHALL BE INSTALLED SO THAT ALL COMPONENTS OF THE IRRIGATION SYSTEM OPERATE AT THE MANUFACTURER'S RECOMMENDED OPTIMAL PRESSURE.
  - SPRINKLER HEADS, ROTORS AND OTHER EMISSION DEVICES ON A VALVE SHALL HAVE MATCHED PRECIPITATION RATES.
  - SWING JOINTS OR OTHER PIPE PROTECTION COMPONENTS ARE REQUIRED ON ABOVE-GROUND IRRIGATION PIPING.
  - CHECK VALVES SHALL BE INSTALLED TO PREVENT LOW-HEAD DRAINAGE.
- FOR ADDITIONAL NOTES & SPECIFICATIONS, REFER TO SHEET L5.1

**IRRIGATION LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	POINT OF CONNECTION		HYDROZONE #
	MAINLINE: SCHEDULE 40 PVC; SIZE PER PLAN		DETAIL METHOD
	LATERAL: SCHEDULE 40 PVC; SIZE PER PLAN		IRRIGATION METHOD
	FLEXIBLE DRIP: SCH. 40 PVC LATERAL W/ 1/2" POLY DRIP TUBING AND END CAPS (NETAFIM TECHLINE AUTOMATIC FLUSH VALVES)		VALVE BOX NUMBER
	AUTOMATIC CONTROLLER: HUNTER ICC PLASTIC WALL MOUNT - 4 TO 32 STATION PROGRAMMABLE STATIONS [SEE PLAN FOR LOCATION]		NEW WATER METER
	AUTOMATIC CONTROL VALVE: HUNTER		QUICK COUPLER: HUNTER GCV-100 OR NO KINK HOSE BIB; MUELLER 102-454HN BRASS
	BACKFLOW PREVENTION DEVICE: 1-1/2" FEBCO 805Y DOUBLE CHECK VALVE		RAIN SENSOR (WIRELESS)
	WATTS 1-1/2" USB PRESSURE REDUCER (SET @ 75 PSI)		WEATHER SENSOR
	WATTS BRONZE BALL VALVE (SIZE PER PER LINE)		FLOW SENSOR
			SOLAR SYNC
			MASTER VALVE - FLOW SENSOR CONTROL

**HYDROZONE LEGEND:**

KEY:	DESCRIPTION:	SQ.FT	WATER USE
ZONE A:	(SHRUBS, GRASSES, AND PERENNIALS)	5,670	(LOW)
ZONE B:	(GROUNDCOVERS AND PERENNIALS)	2,205	(MODERATE)
ZONE C:	LAWN AREA	380	(MODERATE)
ZONE D:	TREES	1,590	(MODERATE)

TOTAL LANDSCAPE AREA: 9,845 SQ.FT.

**IRRIGATION - MAWA WORKSHEET:**

**Attachment #2**  
Maximum Applied Water Allowance

The following calculations will help you determine your site specific water budget and establish a planting mix that will allow you to meet your water budget. Your Estimated Total Water Use must be less than your Maximum Applied Water Allowance.

1.) **Maximum Applied Water Allowance (MAWA)**

MAWA = (ETo) (0.62)(0.6x LA) + (0.4 x SLA)

Where:  
 ETo = Annual Net Reference Evapotranspiration (inches)  
 0.6 = ET Adjustment Factor  
 LA = Landscaped Area (square feet)  
 0.62 = Conversion factor (to gallons per square foot)  
 SLA = Portion of the landscape area identified as Special Landscape Area (square feet)  
 0.4 = the additional ET adjustment factor for Special Landscape Area (1.0 - 0.6 = 0.4)

A.) **Net Evapotranspiration Calculation**

Annual ETo	43.99		
Annual Rainfall	28.58	x .25	= 7.15
Effective Rainfall			7.15
Net Evapotranspiration Calculation = Annual ETo - Effective Rainfall			= 36.85

B.) **Adjusted Landscape Area Calculation**

Landscaped Area	9845	x 0.6	= 5907
Special Landscaped Area	0	x 0.4	= 0
Sum of Adjusted Landscape Area			= 5907
MAWA =	36.85	x 0.62	x 5907
			= 134939 gallons

2.) **Estimated Total Water Use (ETWU)**

A.) **Net Evapotranspiration Calculation**

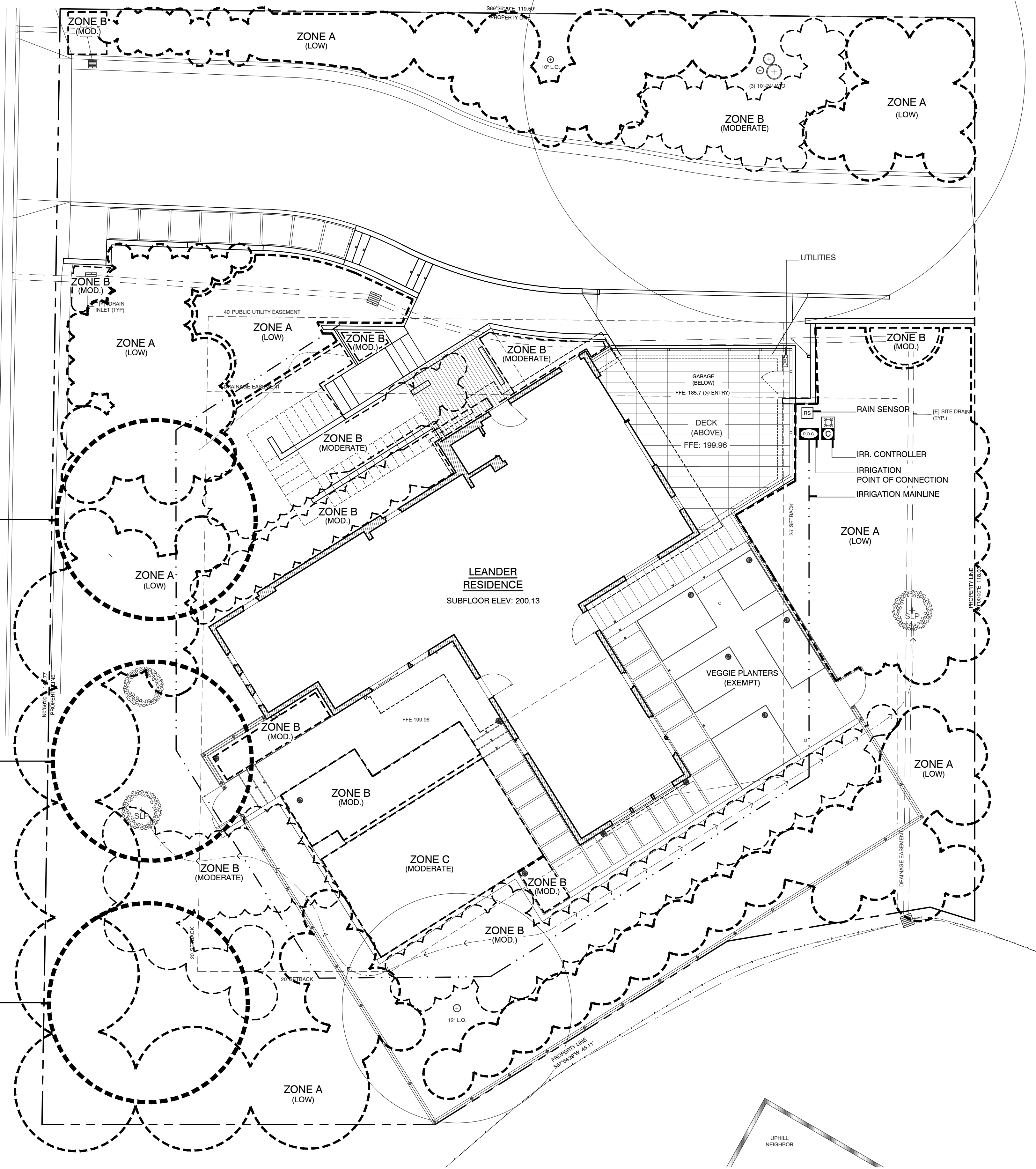
Net Evapotranspiration Calculation = Annual ETo - Effective Rainfall			= 36.85
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B.) **Adjusted Landscape Area Calculation**

Low water use plant sqft	5670	x 0.3	= 1701
Moderate water use plant sqft	4175	x 0.6	= 2505
High water use plant sqft	0	x 1.0	= 0
Sum of Adjusted Landscape Area			= 4,206
ETWU =	36.85	x 0.62	x 4,206
			= 113037 gallons

Irrigation Efficiency Factor

Percent of total landscape irrigated with Drip	0.75
0-25%	0.71
26-50%	0.75
51-75%	0.80
76-100%	0.85



**LANDSCAPE IRRIGATION - HYDROZONE PLAN**

north

scale: 1/8" = 1'-0"



**City of Sebastopol Design Review**  
Written Statement for 911 Litchfield Avenue, Sebastopol, Ca.  
Use: New Single Family Dwelling  
January 2022

## **Introduction**

Peggy Leander, the owner of property at 911 Litchfield Avenue (Lot 1 of the Sharrocks Subdivision) intends to build a new single family dwelling of 1800 square feet with a 2 car garage.

The property, .42 acres, is part of the Sharrocks Subdivision approved on October 21, 2003. The property is accessed from a shared private drive with Lot 2 of the subdivision, perpendicular to Litchfield.

The proposed residence at 911 Litchfield will be visible only from the northwest sideyard of 931 Litchfield (Lot 3 of the subdivision).

Their view was protected by the view easement placed upon Lot 2 that was established as part of the subdivision. No view easement exists for Lot 1.

## **Site Planning**

The proposed “pinwheel” shaped, single story structure meets the required setbacks established by Resolution 5347 for the subdivision (Item P2 - Front 40’; Side 5’ for East and West; Rear 20’.) and associated height limitation of no more than 30 feet above natural grade. (Section 17.08.040 G of the Zoning Ordinance) In keeping with guidelines, the residence is oriented to capture major views to the northeast while allowing solar access from the south.

Access to Lot 3 is from a shared existing asphalt driveway with Lot 2. This approach leads to a 2-car garage for 911 Litchfield set that is into the hill. The walls of the garage also serve as support for a deck above. The garage includes a covered lift that is a second means of access up to the house. The path remains under cover to the back door to the house.

The primary path to the entrance is a 3 run (u-shaped) staircase designed to be the key focal point from the driveway. The steps and landings supported by either concrete site walls or a single stair stringer supporting the last run to the entry landing. The concrete walls also help to mediate grade as it moves uphill

## **Architectural Considerations**

The primary form at the living room of 911 Litchfield is a shed roof to complement the existing shed roof at 921 Litchfield.

The roofline is composed as an ensemble of forms broken into four parts – the shed, two parapet enclosed shed rooflines to hide the solar arrays and a lower between. The massing and shed rooflines break the building mass into smaller scale components and, as well, hides downspouts and roofing material from view.

The exterior design takes a fresh approach to a classic horizontal siding that is typical of many Sonoma County rural residences. The shifted pattern is used to a) add additional pattern to the walls b) control the location of seams for the planks that only come in 12’ lengths and c)

relate to the shifted batten at 921 Litchfield. The varied roofline and support stemwall set back from façade (at lower roof locations) provide a “variety of planes” on the primary elevation – as recommended by the Design Review guidelines.

The exterior materials are cementitious horizontal plank (not wood) that is durable and long lasting. The intended color of the siding and trim will be either medium dark grey or deep blue-grey – two colors are included in the submittal and the final choice will be in a range between the two shown. The deep hue of either will provide a counterpoint to the deep cognac tones of the deck and is in harmony with the board form concrete sides walls and concrete tile that is used at the garage, under the deck. The doors and windows will be charcoal black. The exterior lighting will contrast the siding with a vertical proportion. The guardrails of the front deck are similar to 921 Litchfield – glazed panels between uprights.

Finally, the house is sited to maximize views for the owner while staying within setbacks. With the back yard set below grade at the rear, short retaining walls reduce the apparent height of the house from the south and reinforces the impression that the house conforms to the naturally occurring grades that exist to the west. Proposed fencing design is shown on Design Review Board 2 of 4.

Notes:

House to property line dimensions are shown on the Civil and Landscape Plans.

Overall heights of the residence are shown on the Elevations (not Site Plan)

Overall outside dimensions of the residence are shown on the Main Level Plan

Zoning District: RSF-2

Use: Single Family Dwelling

Lot Size: .42 acres/ 18295 S.F.

Lot Coverage: 1825 sf Main House; Decks: 818 sf / 18295 sf = > .15%

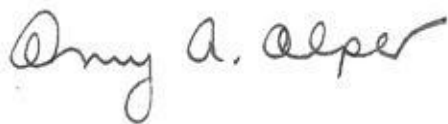
FAR: Main House: 1825 sf + Garage: 810 sf / 18295 = > .15% meets <,30 Max.

Building Floor Area: Main Level: 1825 sf. Garage level under deck: 810 sf

Parking Spaces: 2

Height: Under 30'-0" from natural grade.

Setbacks: Front: 40', Side: 5' and Rear: 20'.



Amy A. Alper, Architect. AIA

CA. License # 26924



**BEC5KY DUCKLES**  
**LANDSCAPE CONSULTANT & ARBORIST**  
**8876 OCCIDENTAL RD., SEBASTOPOL, CA., 95472**  
**707.829.0555 PH 707.824.0516 FAX**

**ARBORIST'S REPORT**

**911 Litchfield Ave.**  
**March 30, 2022**

I have reviewed the Tree Removal Application for this residence and visited the site on March 30<sup>th</sup>. Eleven trees are proposed to be removed for construction of a new residence on this sloping lot. They are all native species, oaks and Douglas fir. One tree of the twelve inventoried will be preserved, a 16" coast live oak. It is reasonable to remove these trees to allow development of this lot.

The landscape plan by Merge Studio dated 1/10/22 shows 3 replacement trees on the west side of the new residence (Ginkgo biloba or Nyssa sylvatica), both attractive deciduous trees with good fall color, well-sited. The other proposed landscape plants include low water use California natives and Mediterranean species well-suited to the site.

Respectfully submitted,

*Becky Duckles*

Becky Duckles, City Arborist & Landscape Consultant  
ISA Certified Arborist #WE-0796A

**EXHIBIT B**  
**RECOMMENDED CONDITIONS OF APPROVAL**

Design Review  
911 Litchfield Ave  
004-134-016, 2021-032

1. Plans and elevations shall be in substantial conformance with plans prepared by Amy Alper, and stamped received on January 18<sup>th</sup>, 2022, and on file at the City of Sebastopol Planning Department, except as modified herein:
2. All construction shall conform to the plans date stamped January 18<sup>th</sup>, 2022, unless the design is modified. The applicant shall obtain a Building Permit prior to the commencement of construction activities.
3. All work to be done within any street right of way or City utility easement shall require an Encroachment permit.
4. Prior to Building Permit issuance, a Grading Permit shall be required.
5. A fee of \$75.00 per required replacement tree shall be paid per required tree removed at the time of submittal of the tree removal application or a minimum of two 15-gallon trees shall be planted, and the fee refunded. The final number of replacement trees, and the tree species, shall be 22 trees, or as otherwise determined by the Tree Board or the City Arborist, as applicable. In any case, the mitigation (number and size of replacement trees) must be related to the significance (size, age, etc.) of the trees that are proposed for removal. On-site replacement trees shall be planted prior to final inspection unless otherwise approved by Planning Staff.
6. Prior to Building Permit issuance, the applicant shall record an easement and maintenance agreement between the subject lot (lot 2) and the neighboring Lot 3. Said easement agreement shall be reviewed and approved by the City Engineering and Planning Departments before being recorded.
7. Prior to Building Permit issuance, the applicant shall record a deed restriction stating that, should the City or another public utility with easement rights need to remove the private improvements within the public utility easement, any such improvements shall be removed and replaced at the sole cost of the property owner. Said easement agreement shall be reviewed and approved by the City Engineering and Planning Departments before being recorded.
8. The City of Sebastopol and its agents, officers and employees shall be defended, indemnified, and held harmless from any claim, action or proceedings against the City, or its agents, officers and employees to attach, set aside, void, or annul the approval of this application or the environmental determination which accompanies it, or which otherwise arises out of or in connection with the City's action on this application, including but not limited to, damages, costs, expenses, attorney's fees, or expert witness fees.
9. The Planning Director shall interpret applicable requirements in the event of any redundancy or conflict in conditions of approval.

10. Approval is valid for three (3) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section 17.400.100 of the Zoning Ordinance.